

PROJECT INFO .

OWNER :

AGDL INVESTMENTS LLC.
8218 Casa Verde Rd.
St. 1009
Laredo, Tx 78041
956-857-4028

CONTRACTOR :

HDL CONSTRUCTION LLC.
315 Calle del Norte
Ste 1009
Laredo, Tx 78041
956-763-3598

LEGAL DESCRIPTION :

BLK.914LOT.7-8-9
117 S. MENDIOLA AVE.
EASTERN DIV.
LAREDO, TX.

ANALYSIS/ CODE INFORMATION.

TYPE OF CONSTRUCTION : TYPE 1
OCCUPANCY GROUP : RESIDENCIAL
USE ZONE : R-3
OCCUPANT LOAD : 12 APARTMENTS-2BEDROOMS E/U

PARKING SPACES : 12X2 = 24 Cars

TDLR - ADA

TDLR Registration Number:

Texas 811 Locate Request:

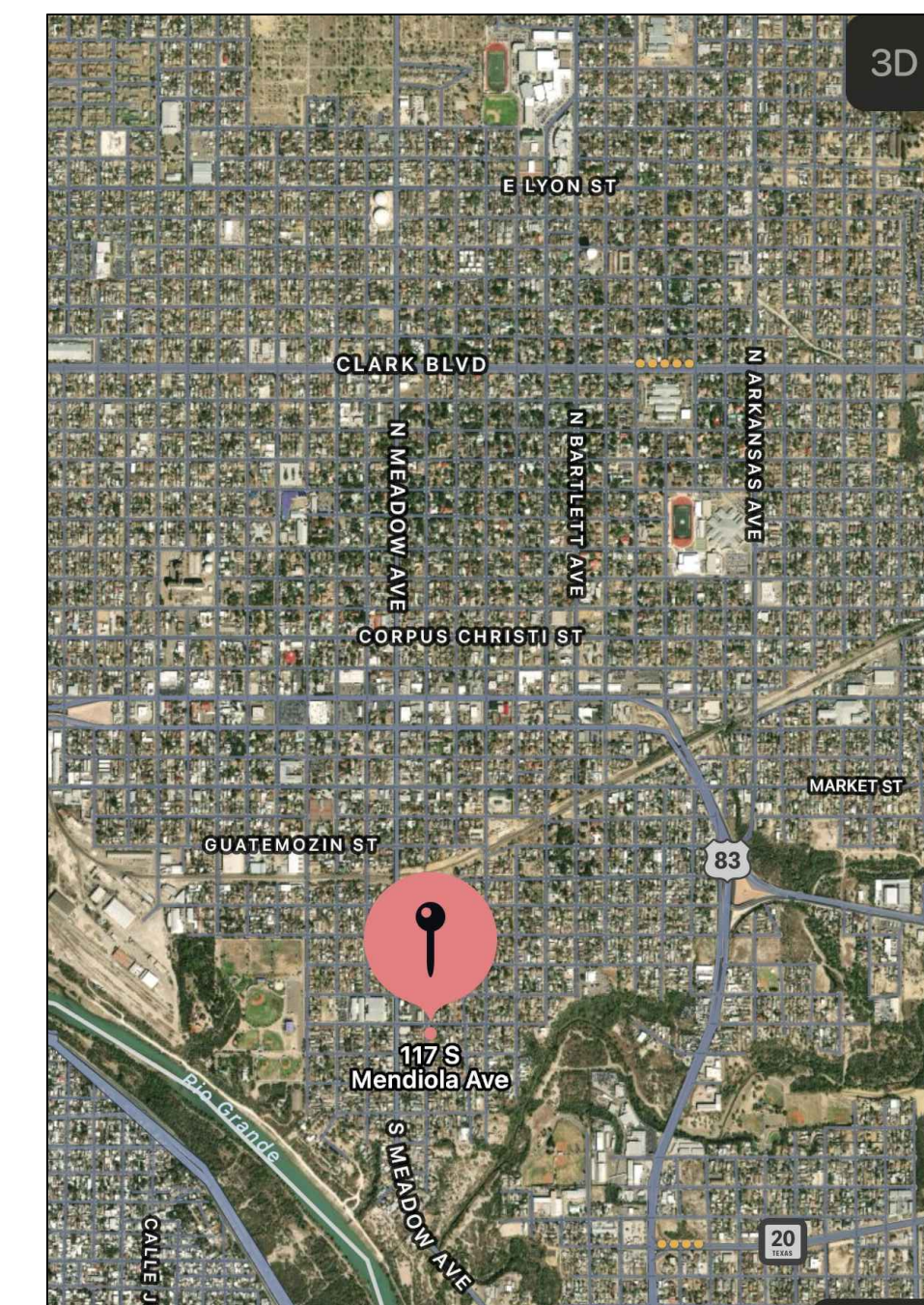
Ticket Number:

Phone: 1-(800)-344-8377

DRAWING INDEX .
NEW CONSTRUCTION
- SAN JOSE APARTMENTS -

ARCHITECTURAL

NUMBER	SHEET NAME
A00	INDEX SHEET LOCATION MAPS
A01	ARCHITECTURAL SITE PLAN
A02	FLOOR PLAN - 4 UNITS -
A03	ELECTRICAL PLAN - 4 UNITS-
A04	ROOF PLAN & ELEVATIONS - 4 UNITS-
A05	FLOOR PLAN - 8 UNITS -
A06	ELECTRICAL PLAN - 8 UNITS -
A07	ROOF PLAN & ELEVATIONS -8 UNITS-
A08	ELEVATIONS,CROSS SECTION& CABINETS DET.-8UNITS-
A09	FOUNDATION PLAN



LOCATION MAP

SAN JOSE
APARTMENTS

PROJECT

HDL CONSTRUCTION,LLC

8218 Casa Verde Rd. Ste.1009
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BUILDER

DRAWINGS

INDEX SHEET

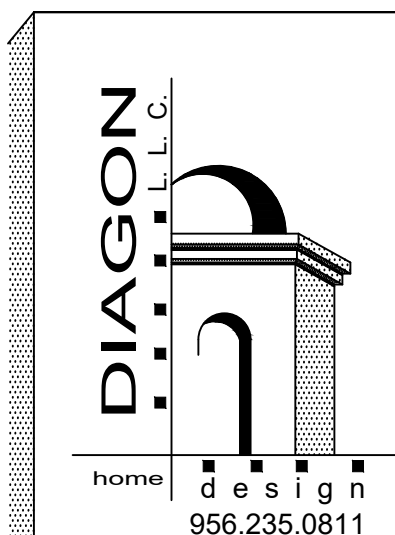
MAY22

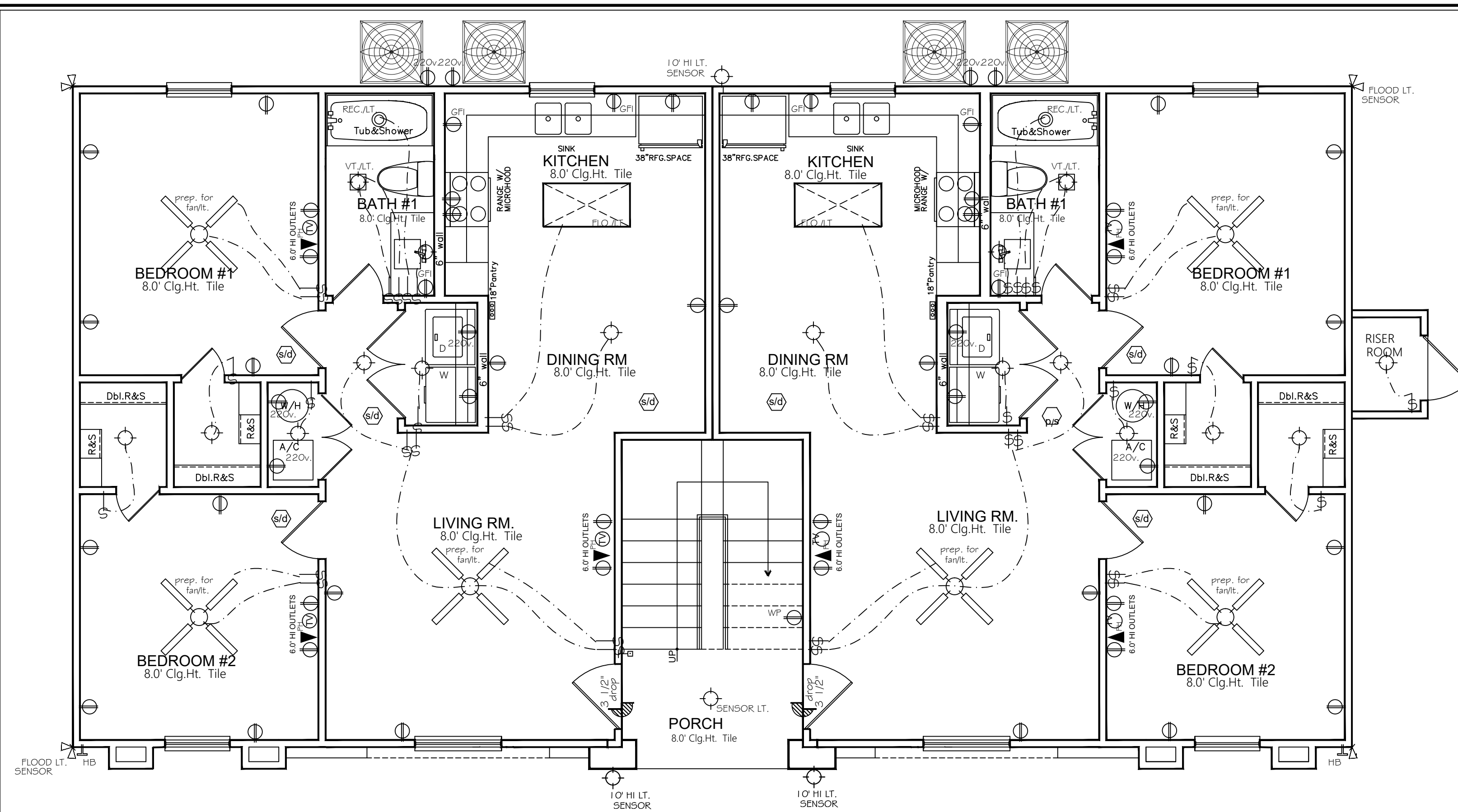
P.DIAZ

SHEET A-00

SHEET COUNT 1 OF 10

BLK.914 LOT.7-8-9
117 S. MENDIOLA AVE.
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LAREDO, TX.

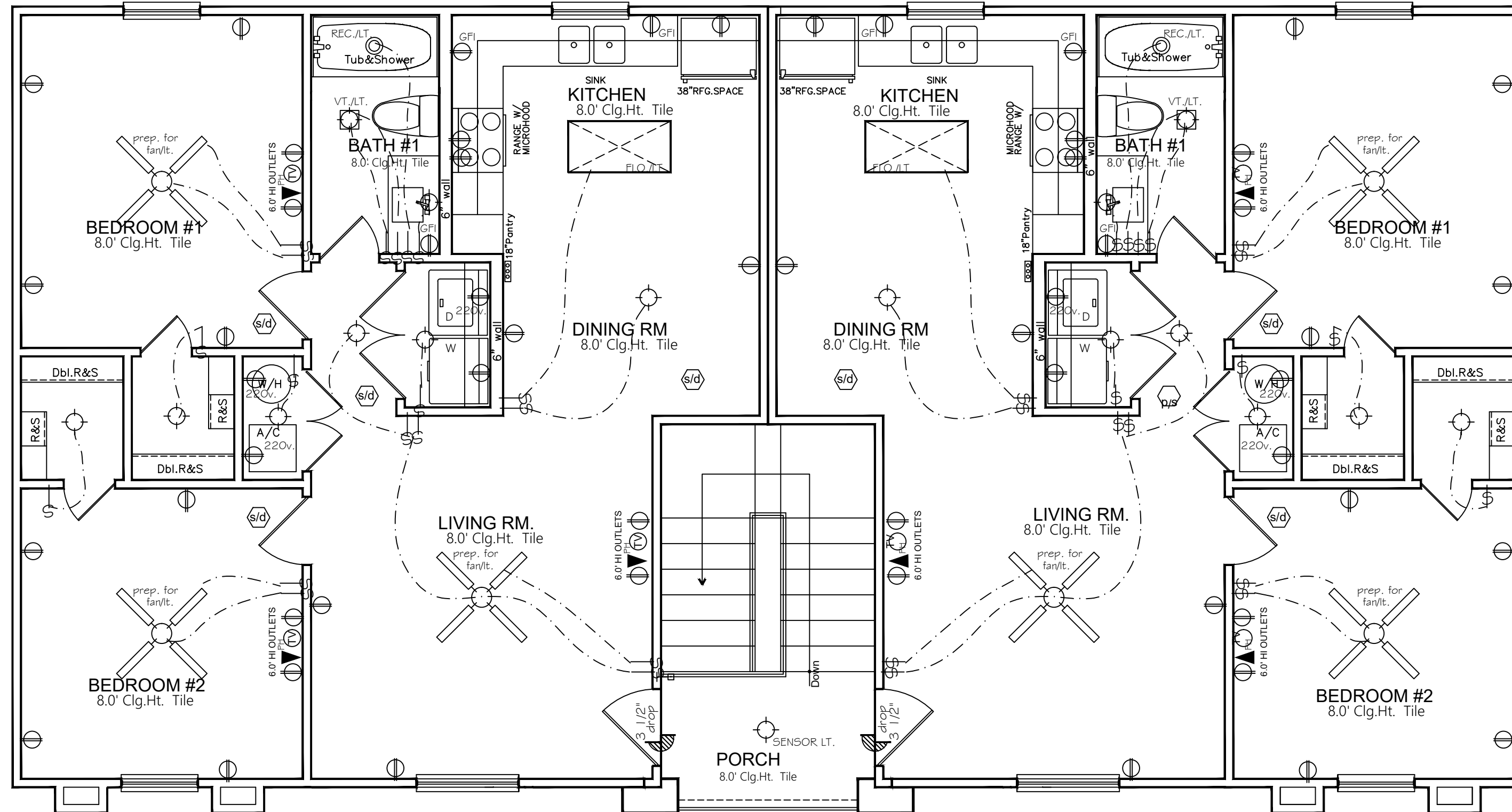




ELECTRICAL PLAN - scale 1/4" = 1' - 0"
1ST. LEVEL 4 UNITS

ELECTRICAL SYMBOLS -

[Symbol]	SWITCH
[Symbol]	THREE WAY SWITCH
[Symbol]	110 DUPLEX OUTLET
[Symbol]	WEATHER PROOF DUPLEX OUTLET
[Symbol]	DUPLEX OUTLET W/GROUND FAN L.L. INT.
[Symbol]	220 VOLT DUPLEX OUTLET
[Symbol]	TELEVISION CABLE OUTLET
[Symbol]	TELEPHONE CABLE
[Symbol]	SURFACE MOUNT CEILING FIXTURE
[Symbol]	VENT/LIGHT CEILING FIXTURE
[Symbol]	6" RECESSED CEILING FIXTURE
[Symbol]	WALL MOUNT LIGHT FIXTURE
[Symbol]	244 FLUORESCENT LIGHT FIXTURE
[Symbol]	FAN/LIGHT COMBINATION
[Symbol]	FLOOD LIGHT
[Symbol]	SMOKE DETECTOR
[Symbol]	CHIME
[Symbol]	FRESH BUTTON DOOR BELL
[Symbol]	3" RECESSED CEILING FIXTURE



ELECTRICAL PLAN - scale 1/4" = 1' - 0"
2ND. LEVEL 4 UNITS

2012 INTERNATIONAL FIRE CODE
2012 BUILDING CODE
2012 MECHANICAL CODE
2012 PLUMBING CODE
2015 ENERGY CODE
2011 N.E.C.
2012 TEXAS ACCESSIBILITY STANDARD

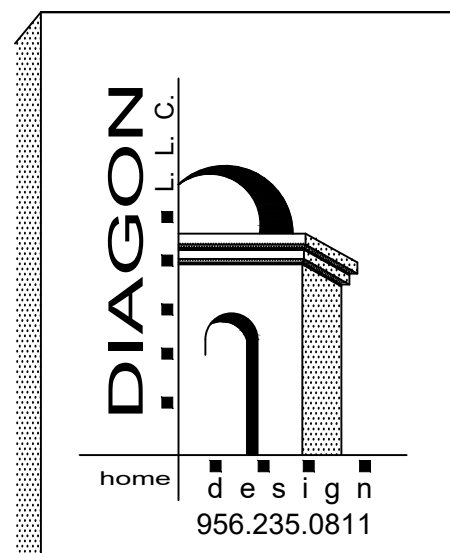
SAN JOSE
APARTMENTS
PROJECT

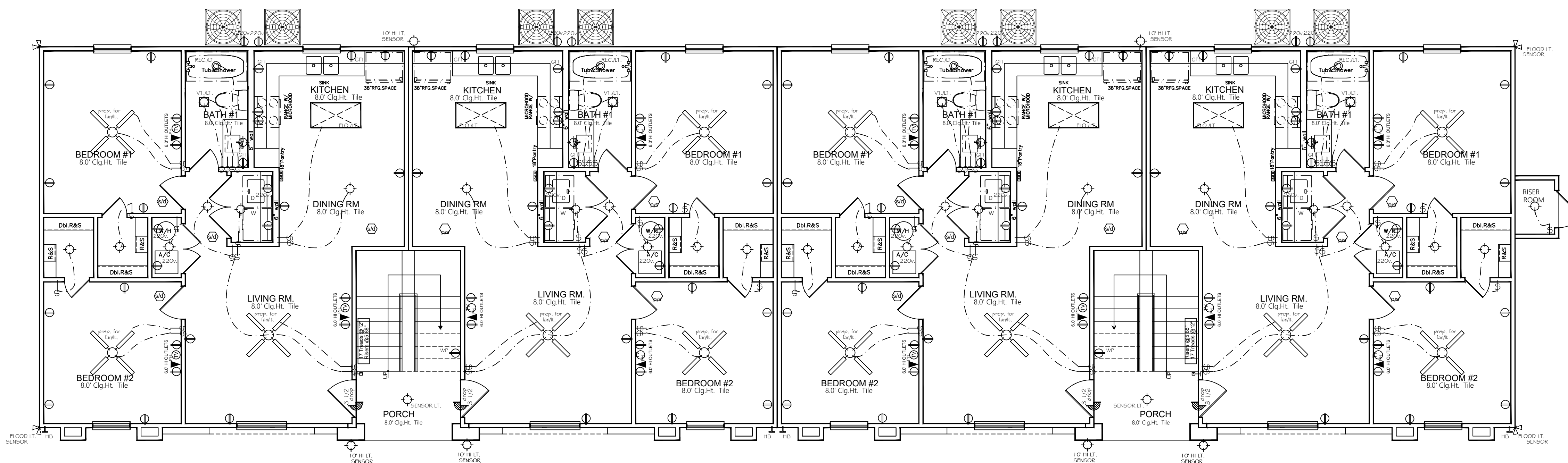
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BUILDER

DRAWINGS	ELECTRICAL PLAN
	4 UNITS -
JULY/22	P. DIAZ
SHEET	A-03
SHEET COUNT	4 OF 10

BLK. 914 LOT. 7-8-9
117 S. MENDIOLA AVE.
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LAREDO, TX.

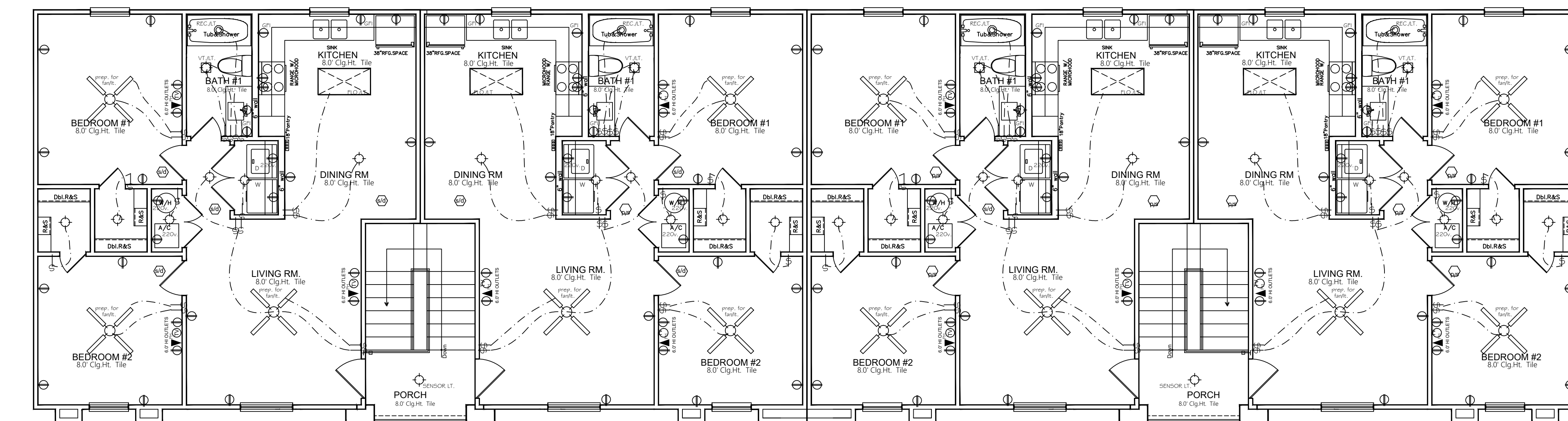




ELECTRICAL SYMBOLS

[Symbol]	SWITCH
[Symbol]	THREE WAY SWITCH
[Symbol]	110 DUPLEX OUTLET
[Symbol]	WEATHER PROOF DUPLEX OUTLET
[Symbol]	DUPLEX OUTLET W/GRAND FAN LT. INT.
[Symbol]	220 VOLT DUPLEX OUTLET
[Symbol]	TELEVISION CABLE OUTLET
[Symbol]	TELEPHONE CABLE
[Symbol]	SURFACE MOUNT CEILING FIXTURE
[Symbol]	VENT LIGHT CEILING FIXTURE
[Symbol]	6" RECESSED CEILING FIXTURE
[Symbol]	WALL MOUNT LIGHT FIXTURE
[Symbol]	2x4 FLUORESCENT LIGHT FIXTURE
[Symbol]	FAN/LIGHT COMBINATION
[Symbol]	FLOOD LIGHT
[Symbol]	SMOKE DETECTOR
[Symbol]	CHIME
[Symbol]	PUSH BUTTON DOOR BELL
[Symbol]	3" RECESSED CEILING FIXTURE

ELECTRICAL PLAN .- scale 3/16" = 1' - 0"
1ST. LEVEL 8 UNITS



ELECTRICAL PLAN .- scale 3/16" = 1' - 0"
2ND. LEVEL 8 UNITS

- 2012 INTERNATIONAL FIRE CODE
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BUILDER

DRAWINGS

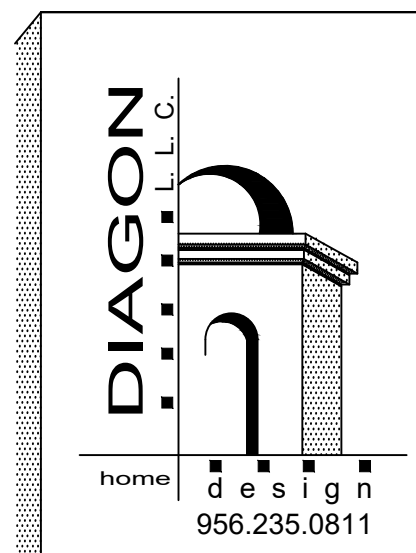
ELECTRICAL PLAN
-8 UNITS -

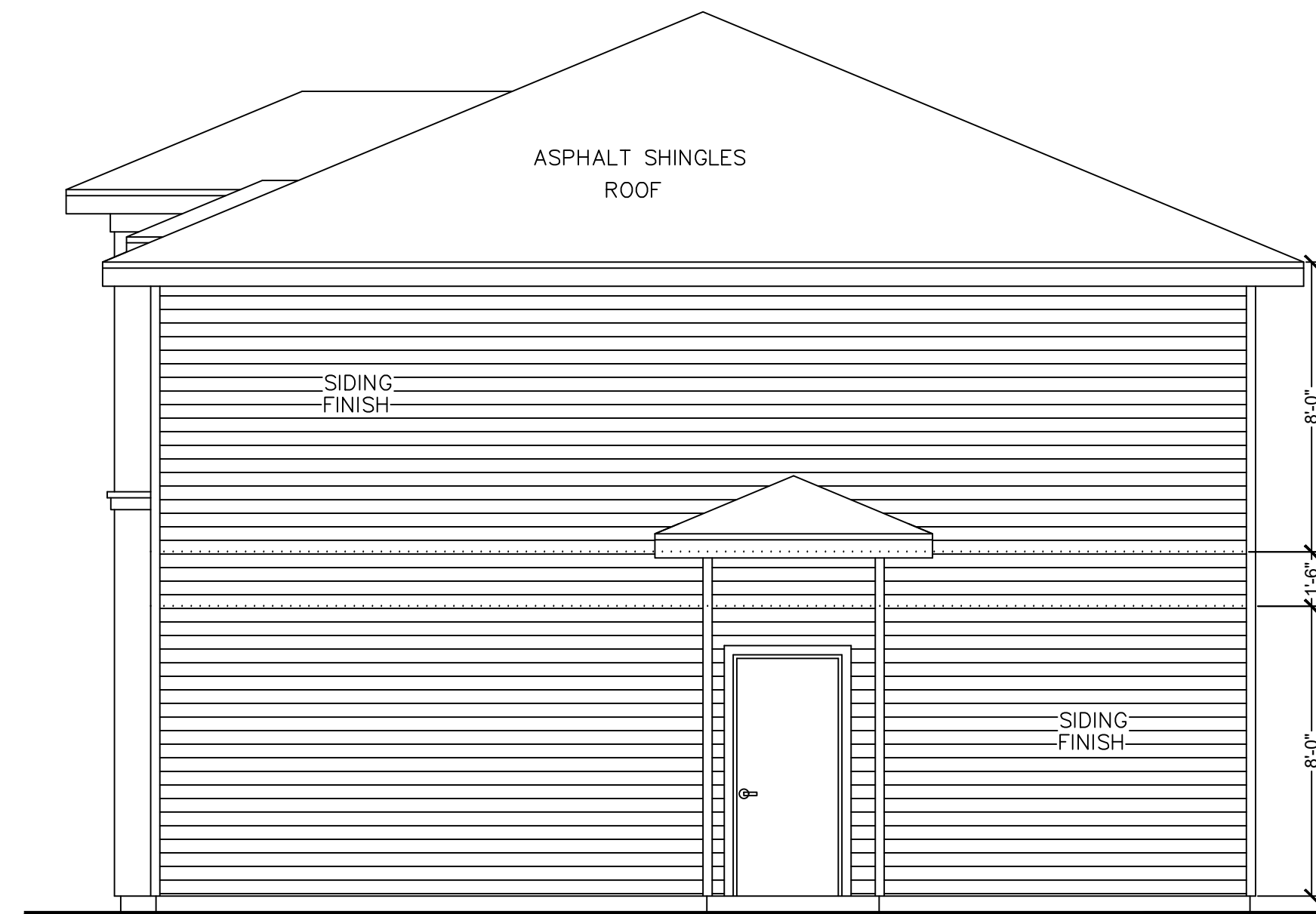
JULY/22	P. DIAZ
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SHEET A-06

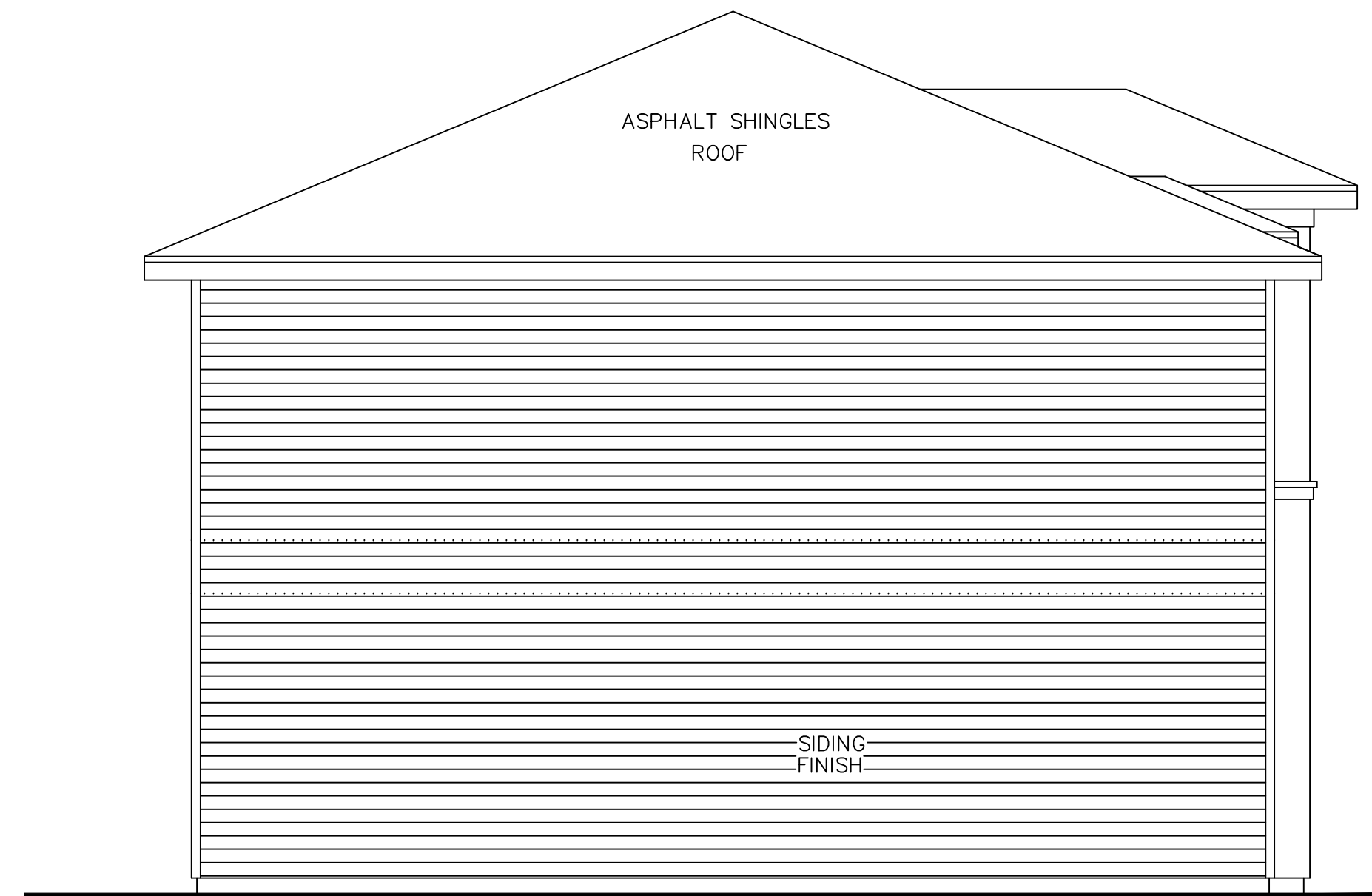
SHEET COUNT 7 OF 10

BLK. 914 LOT. 7-8-9
117 S. MENDIOLA AVE.
EASTERN DIV.
LAREDO, TX.

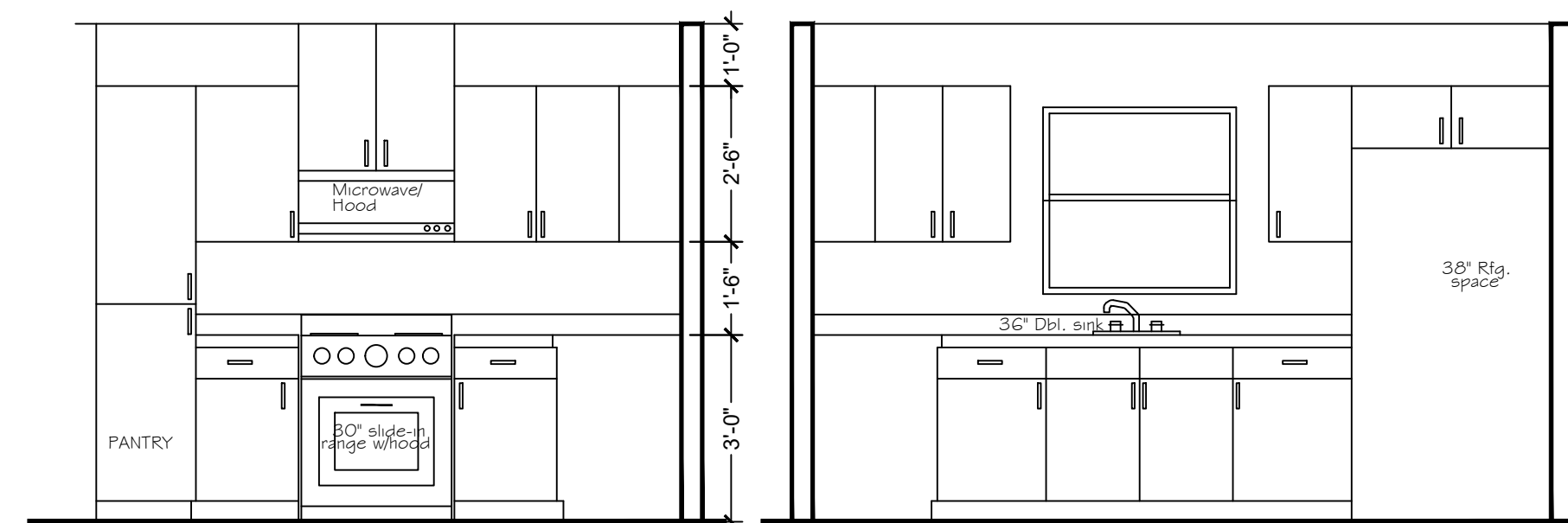




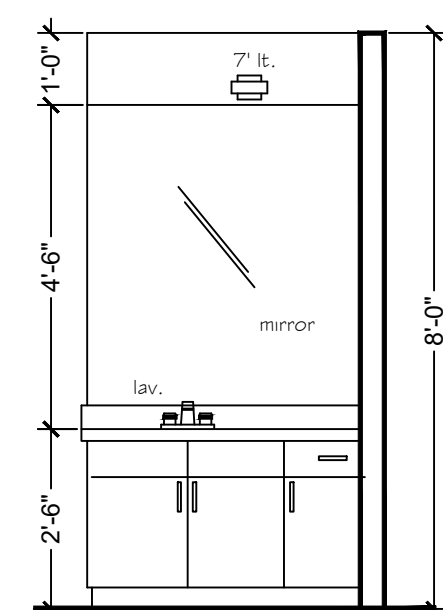
SOUTH ELEVATION ■ SC. 1/4" = 1'-0"



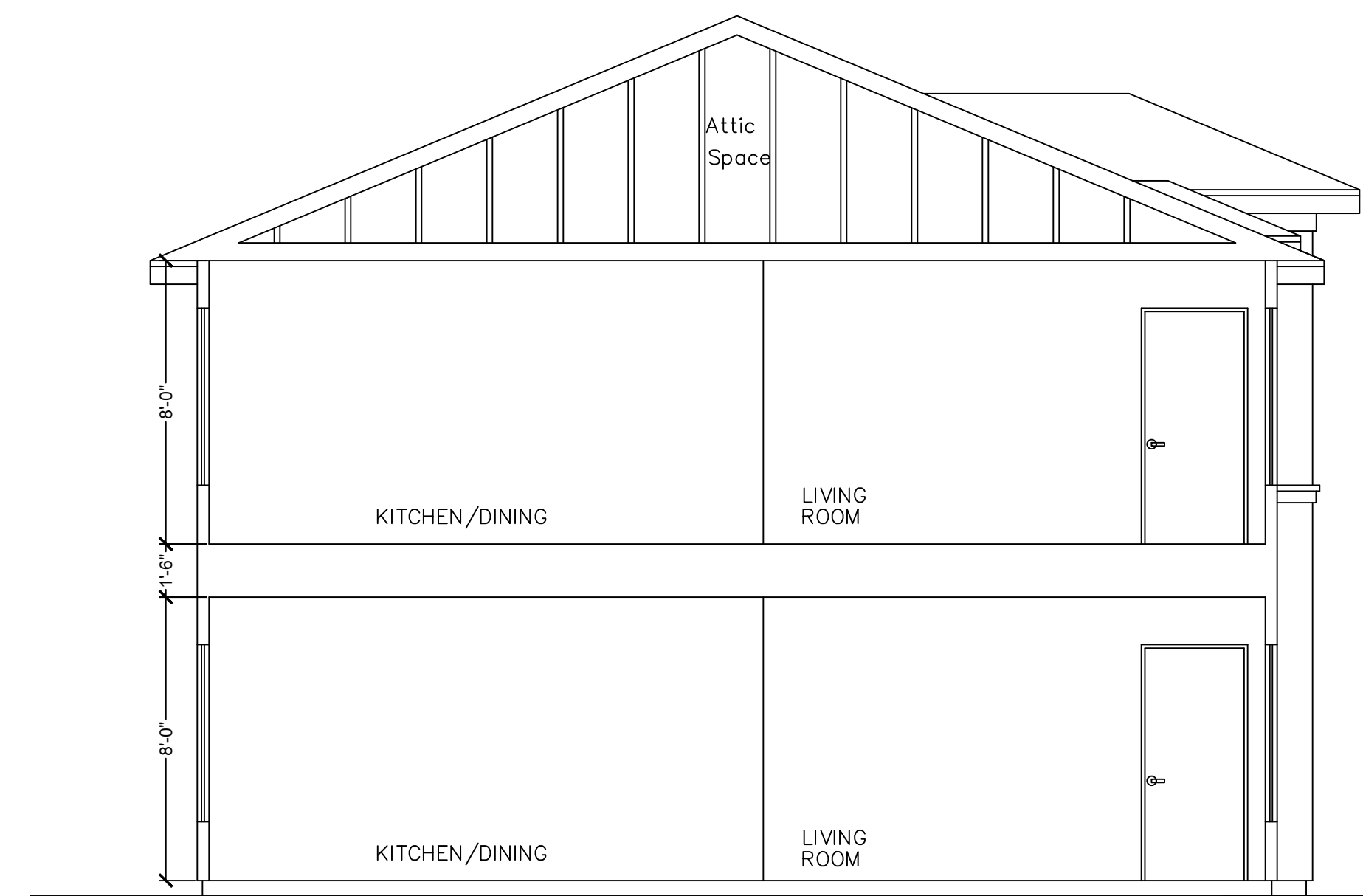
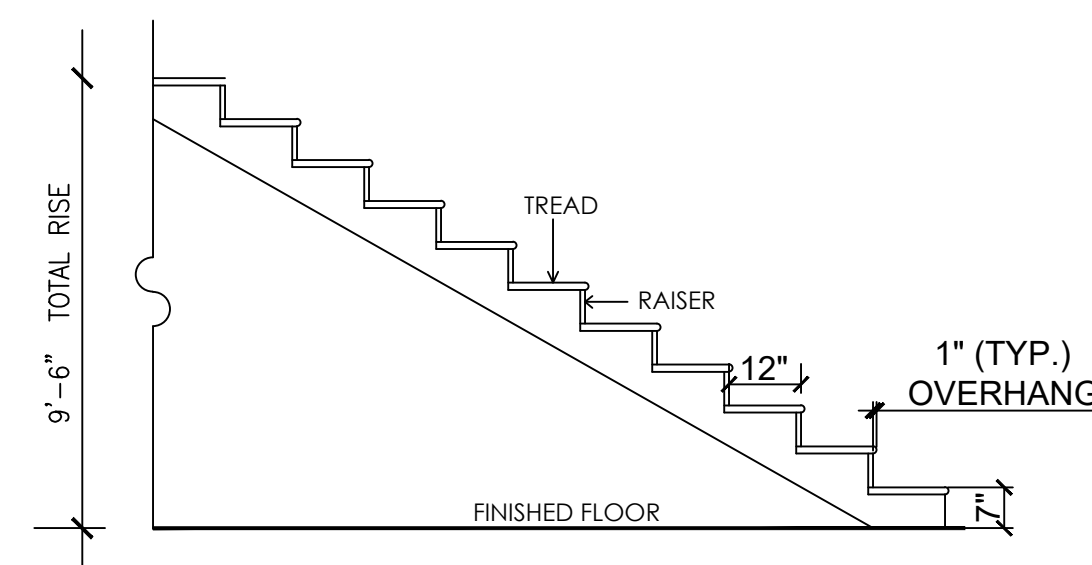
NORTH ELEVATION ■ SC. 1/4" = 1'-0"



KITCHEN CABINETS .- ■ scale 3/8" = 1' - 0"



BATH #1 .- ■ scale 3/8" = 1' - 0"

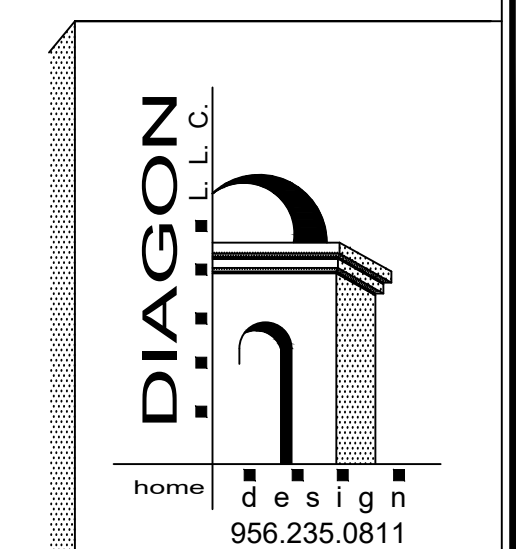


CROSS SECTION .- ■ SC. 1/4" = 1'-0"

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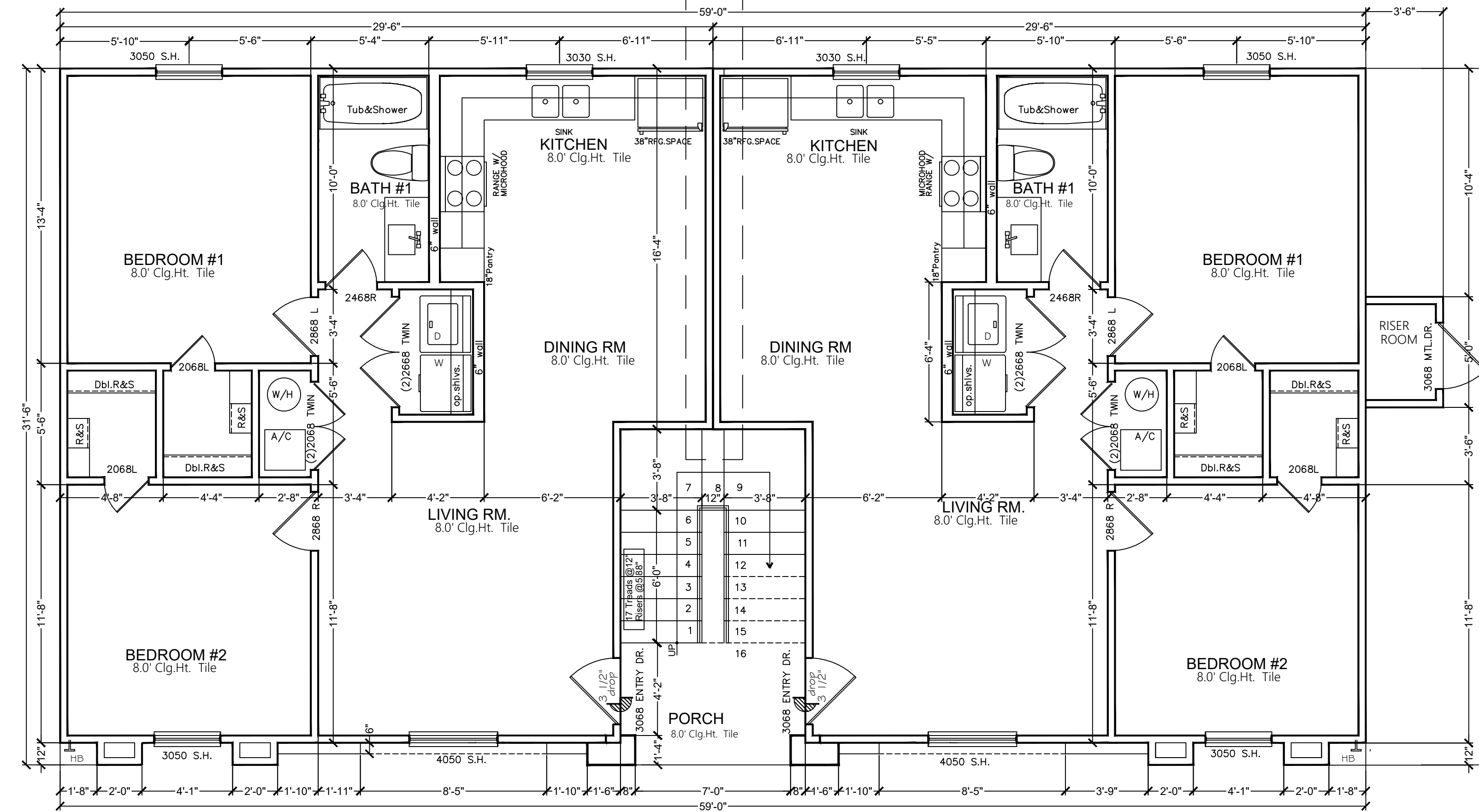
DRAWINGS	
ELEVATIONS	
CABINETS DET.	
8 UNITS	
CROSS SECT.	
JULY/22	P. DIAZ
SHEET A-08	
SHEET COUNT 9 OF 10	

BLK. 914 LOT. 7-8-9
117 S. MENDIOLA AVE.
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LAREDO, TX.



TWO HOUR RATED WALL ASSEMBLY (ONE -HOUR EACH APARTMENT) :

2- LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE
OF 3 1/2" WALL STUDS AT 16" ON CENTER WITH
R-13 INSULATION BATTS EXTEND PARTITION TO BOTTOM
OF DECK AND SEAL WITH FIRE CAULK



FLOOR PLAN .- scale 1/4" = 1' - 0"
1ST. LEVEL 4 UNITS

AREAS :

LIVING AREA APARTMENT (1-12)	10,080.0 SQ.FT.
EACH APT.	840.0 SQ.FT.
PORCH UNITS (1ST. LEVEL)	390.0 SQ.FT.
EACH PORCH	130.0 SQ.FT.
PORCH UNITS (2ND. LEVEL)	144.0 SQ.FT.
EACH PORCH	48.0 SQ.FT.
TOTAL CONSTRUCTION AREA:	10,614.0 SQ.FT.

WALLS .

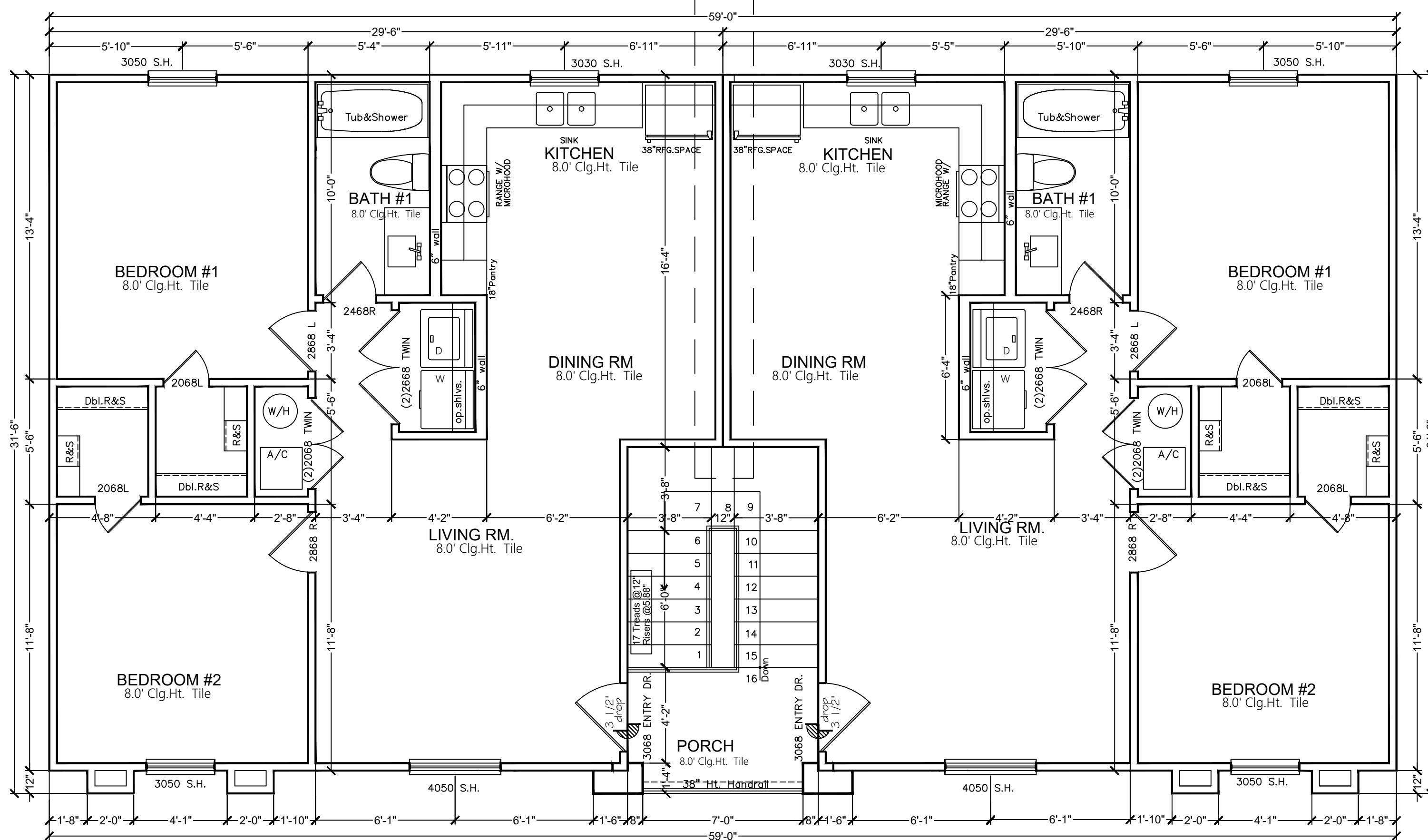
INTERIOR: SMOOTH / PAINT
EXTERIOR: STUCCO FINISH W/PAINT FINISH
EXTERIOR: SIDING FINISH

CEILINGS.

INTERIOR: SHEET ROCK TEXTONE/PAINT FINISH
EXTERIOR(PORCH) : GYPSUM BOARD PLASTER W/ PAINT

FLOOR .

GENERAL HOUSE : PORCELAN FLOOR (16 X 16)
BATH : CERAMIC TILE
EXTERIOR : SMOOTH CONCRETE
SIDEWALK : EXPOSED CONCRETE 1% SLOPE



FLOOR PLAN .- scale 1/4" = 1' - 0"
2ND. LEVEL 4 UNITS

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BUILDER

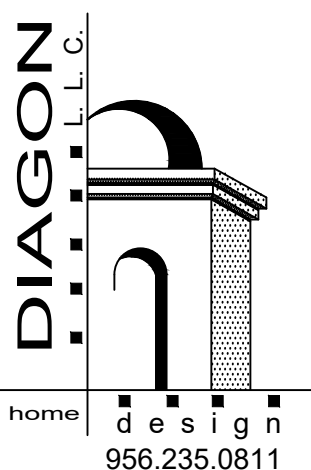
FLOOR PLAN
4 UNITS -

JULY/22 P.DIAZ

SHEET A-02

SHEET COUNT 3 OF 10

BLK.914 LOT.7-8-9
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BUILDER

DRAWINGS

FLOOR PLAN

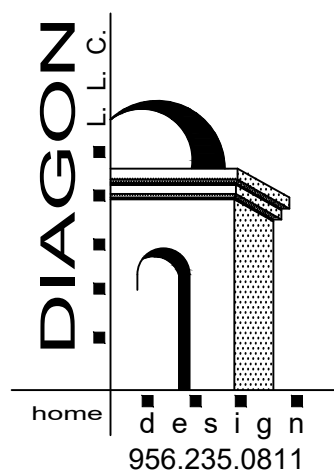
-8 UNITS-

JULY/22 P. DIAZ

SHEET A-05

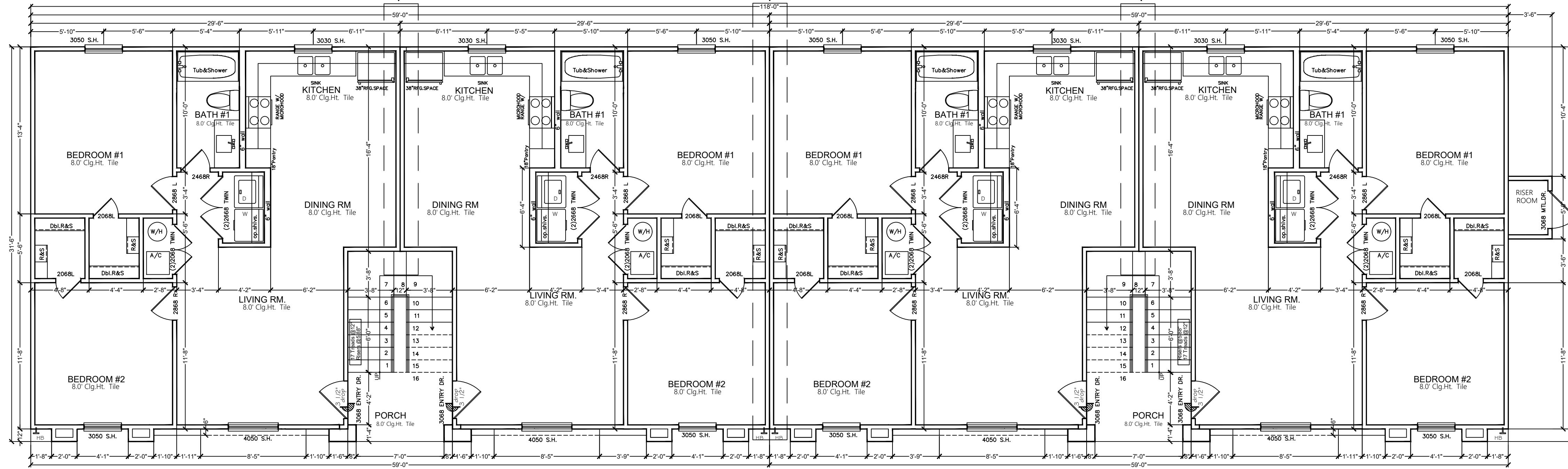
SHEET COUNT 6 OF 10

BLK.914 LOT.7-8-9
117 S. MENDIOLA AVE.
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LAREDO, TX.

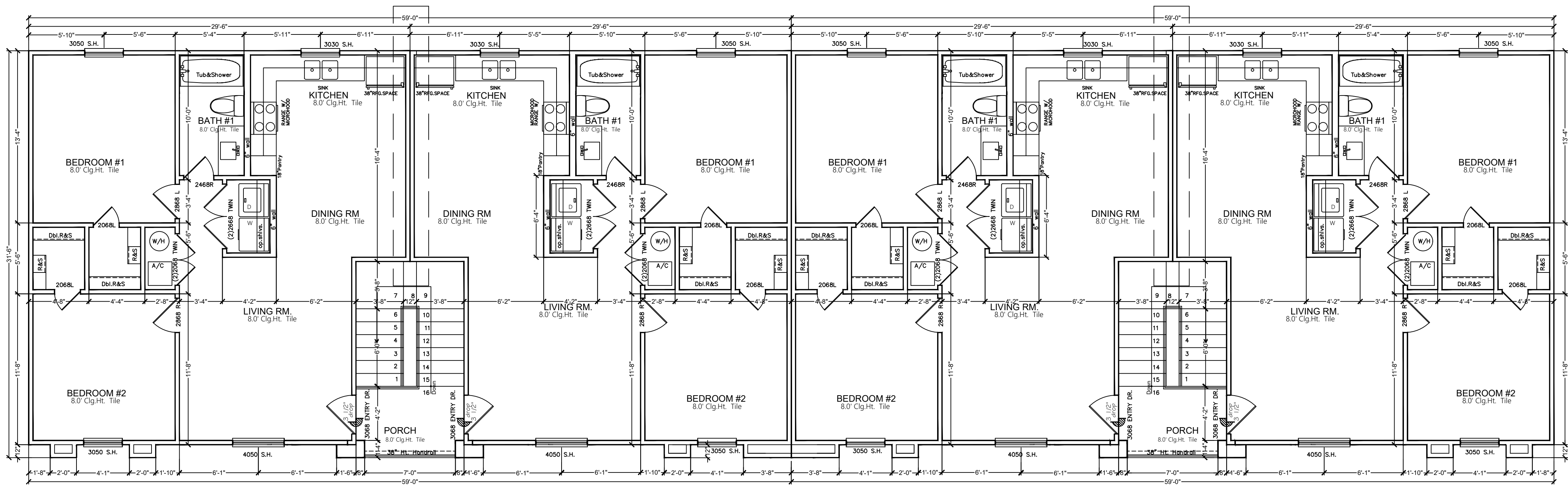


2012 INTERNATIONAL FIRE CODE
2012 BUILDING CODE
2012 MECHANICAL CODE
2012 PLUMBING CODE
2015 ENERGY CODE
2011 N.E.C.
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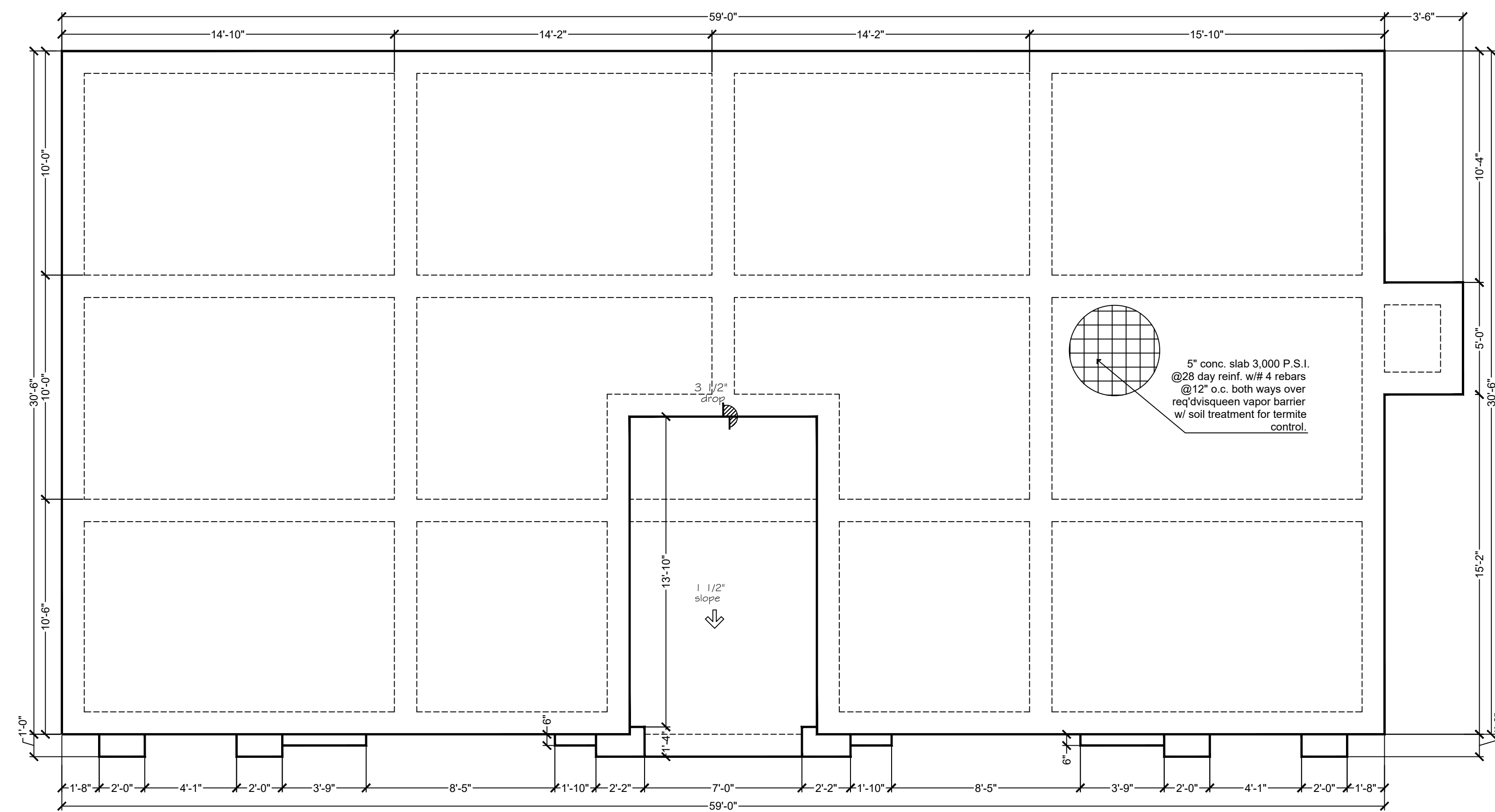
TWO HOUR RATED WALL ASSEMBLY (ONE - HOUR EACH APARTMENT) :
2- LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE
OF 3/12" WALL STUDS AT 16" ON CENTER WITH
R-13 INSULATION BATT'S EXTEND PARTITION TO BOTTOM
OF DECK AND SEAL WITH FIRE CAULK



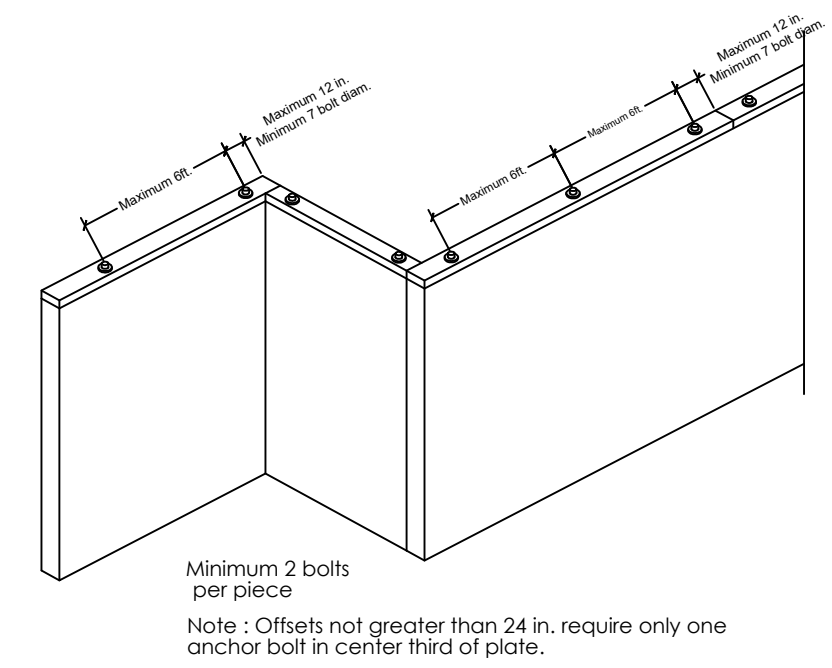
FLOOR PLAN .- scale 3/16" = 1' - 0"
1ST. LEVEL 8 UNITS



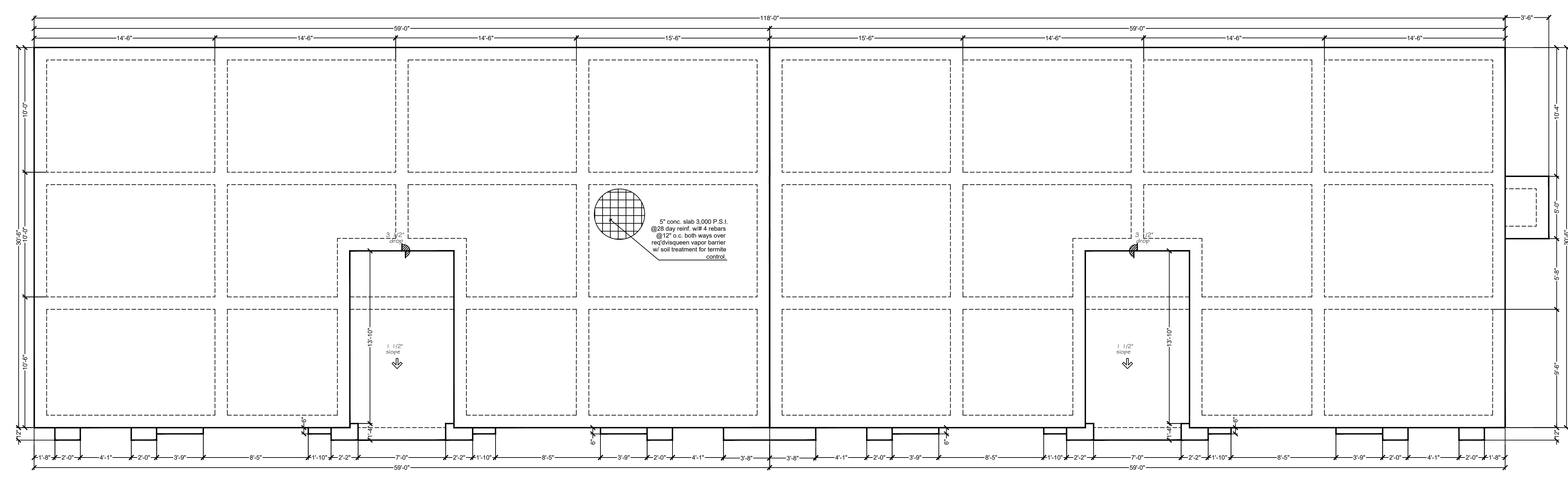
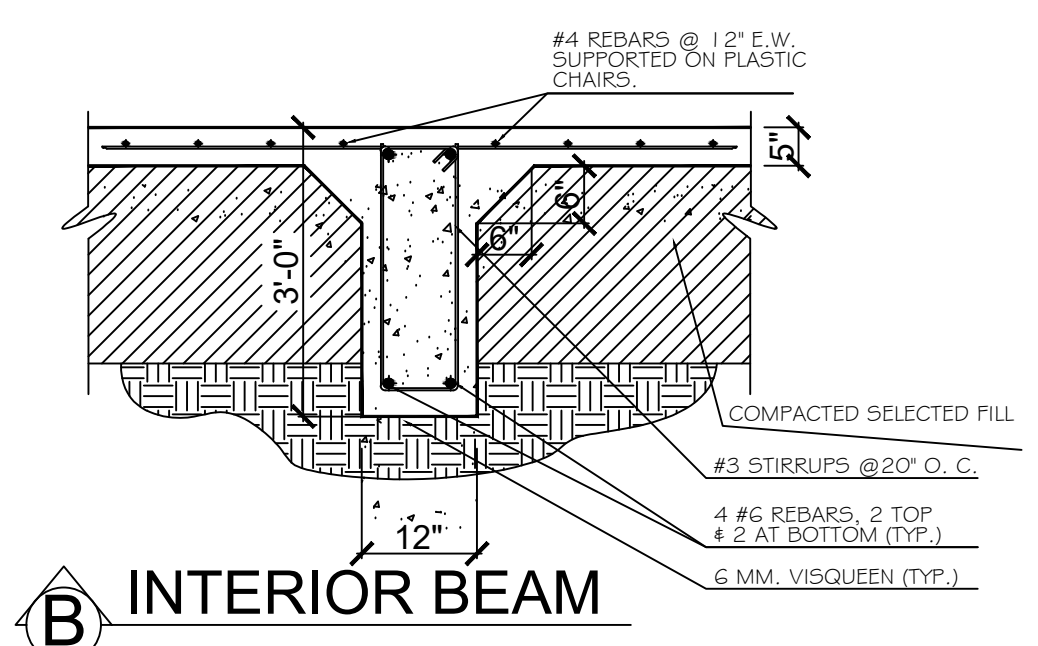
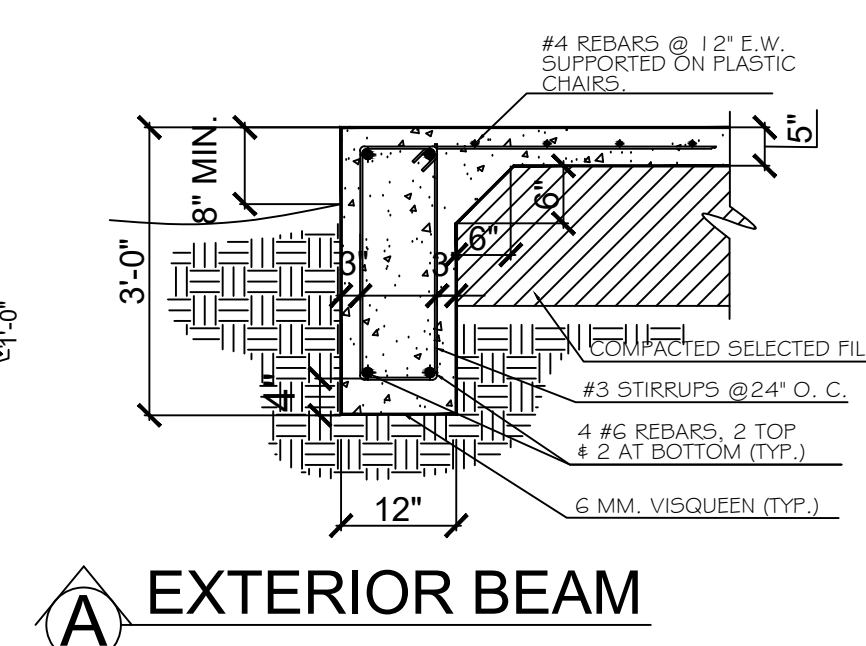
FLOOR PLAN .- scale 3/16" = 1' - 0"
2ND. LEVEL 8 UNITS



FLOOR PLAN - 4 UNITS
 scale 1/4" = 1' - 0"



ANCHOR BOLT NOTES:
 THE PLACEMENT OF THE ANCHOR BOLTS MAY BE PLACED PRIOR TO THE POURING OF THE CONCRETE BY SECURING IN PLACE OR IMBEDDED DURING THE POURING OF THE CONCRETE. NONETHELESS, THE APPROPRIATE ANCHOR BOLTS MUST BE AT SITE DURING THE FOUNDATION INSPECTION. DURING THE FRAMING INSPECTIONS, A VERIFICATION TO ENSURE BOLTS ARE SPACED A MAXIMUM OF 6 FEET (1829mm) ON CENTER TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2 IN DIAM. ANCHOR BOLTS. BOLTS SHALL BE EMBEDDED A MINIMUM SEVEN (7) INCHES INTO CONCRETE OR CROUTED CELLS OF CONCRETE MASONRY UNITS. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLTS. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES OR LESS THAN SEVEN BOLTS DIAMETERS FROM EACH END OF THE PLATE SECTION. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS AS LISTED ON BOTH THE IRC AND THE IBC(RC R406.3.3&IBC2308.3.3).



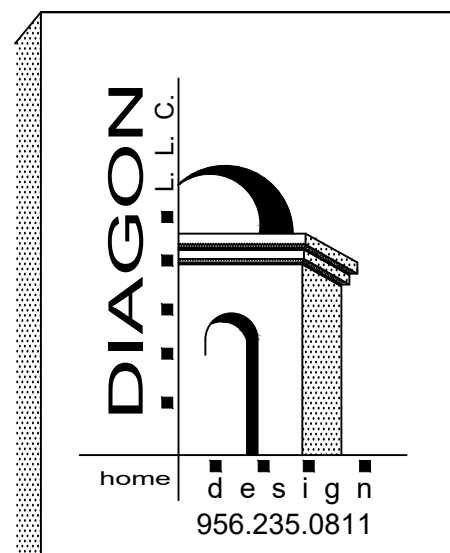
FOUNDATION PLAN - 8 UNITS
 scale 3/16" = 1' - 0"

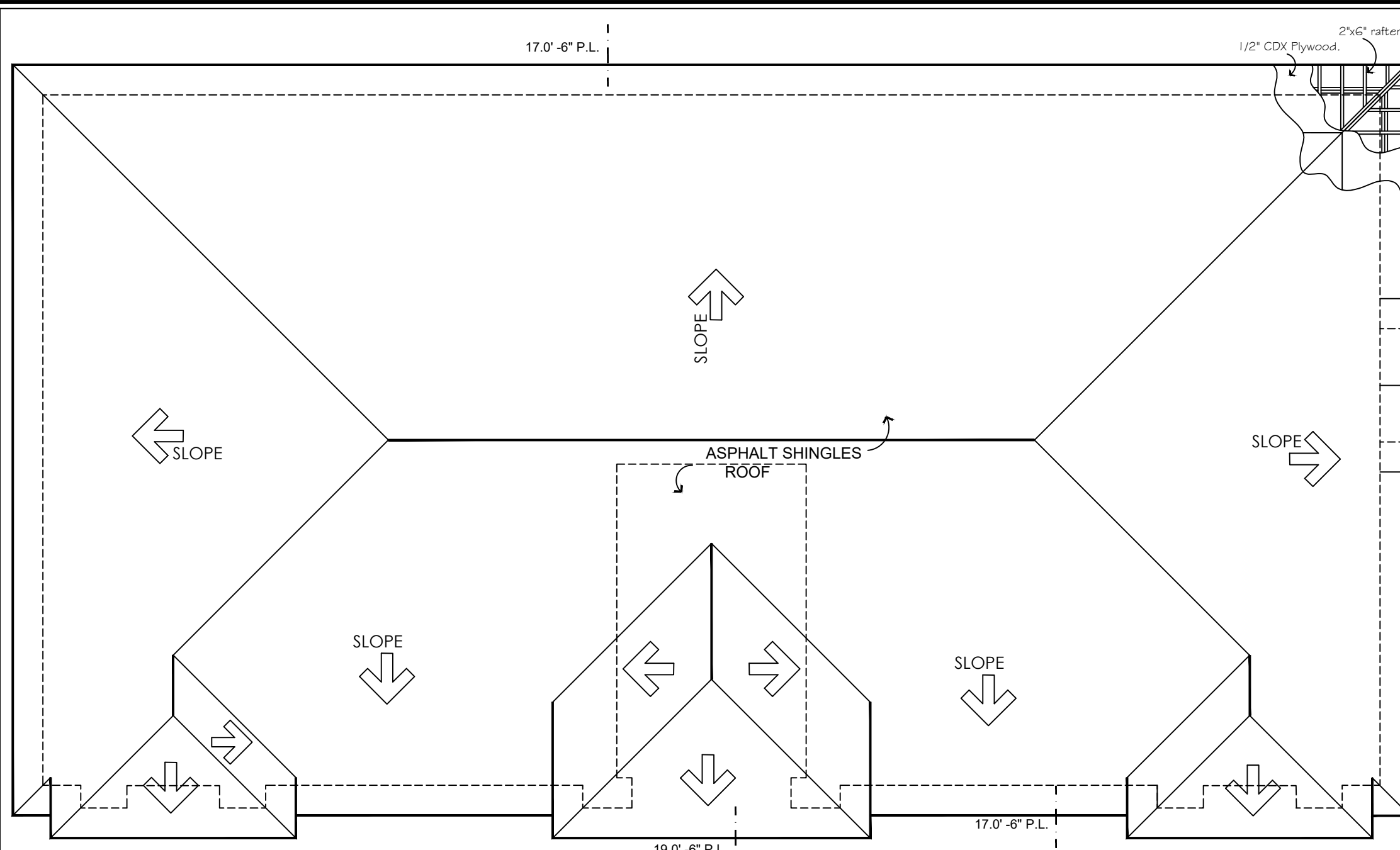
SAN JOSE APARTMENTS
 PROJECT

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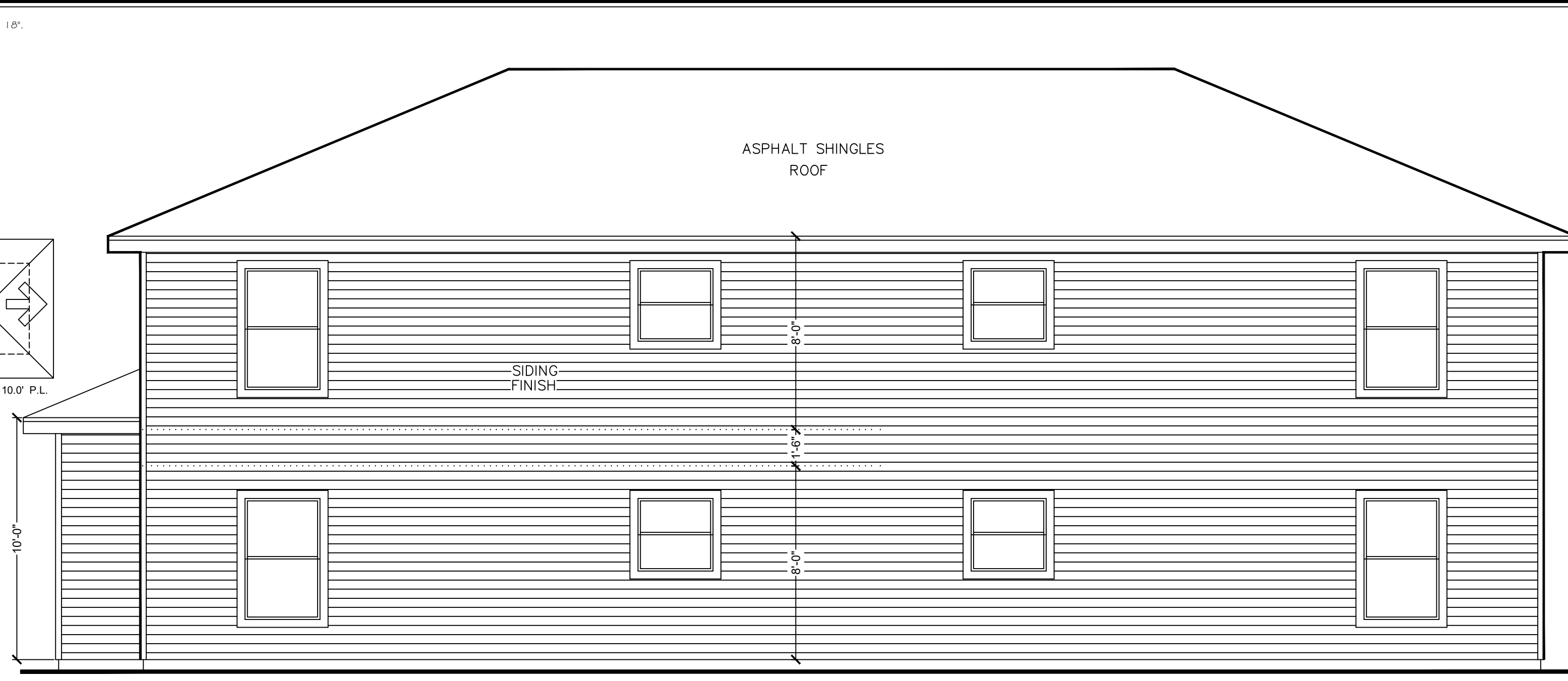
DRAWINGS	
BUILDER	
FOUNDATION PLAN	
- 8 UNITS -	
- 4 UNITS -	
JULY/22	P. DIAZ
SHEET A-09	
SHEET COUNT 10 OF 10	

BLK. 914 LOT. 7-8-9
 117 S. MENDIOLA AVE.
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 LAREDO, TX.

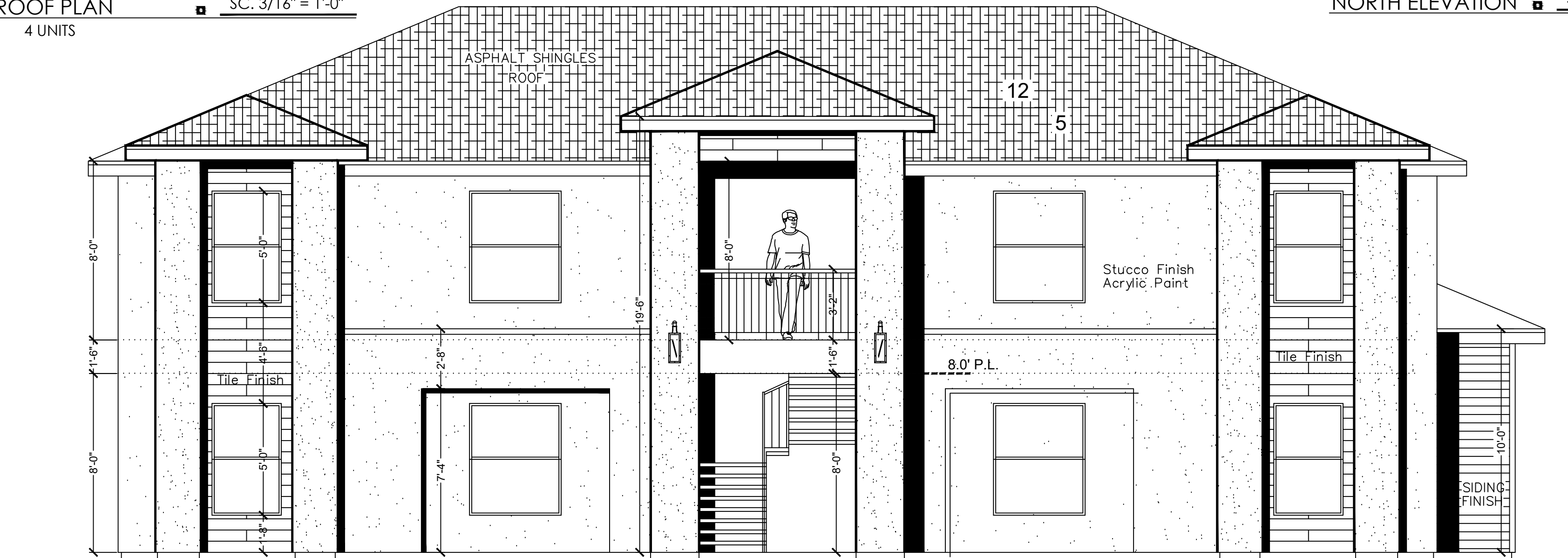




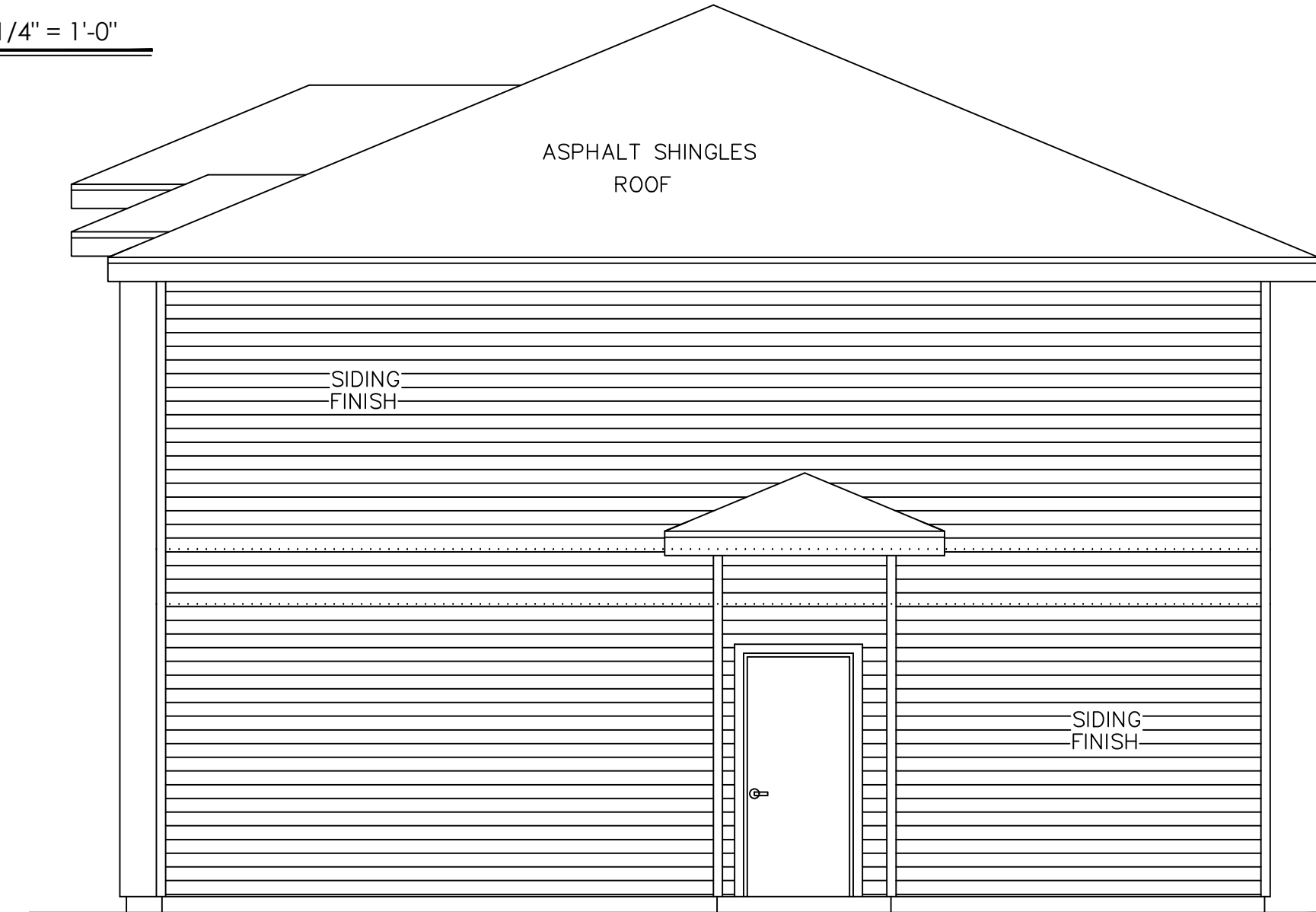
ROOF PLAN 4 UNITS SC. 3/16" = 1'-0"



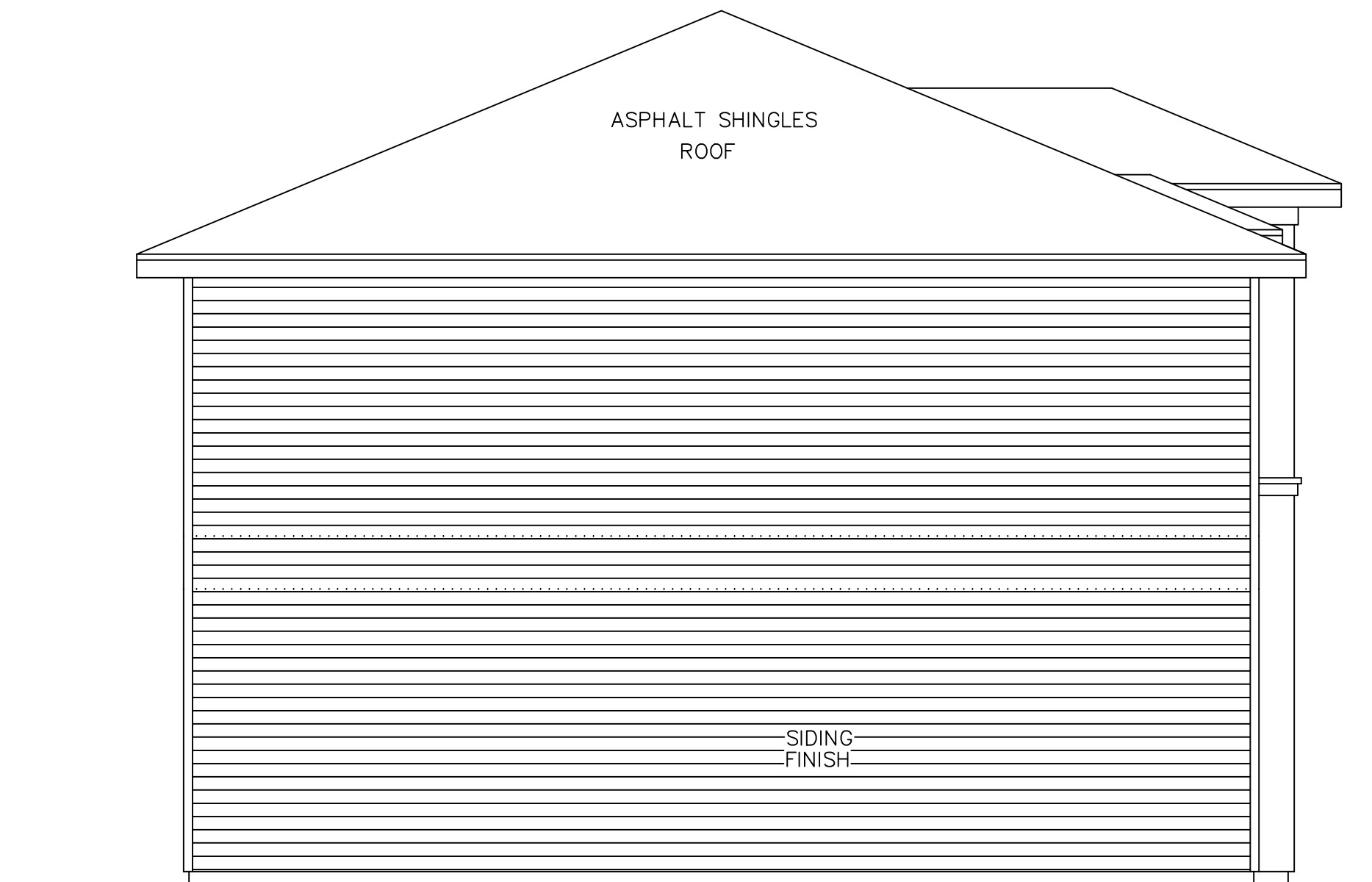
NORTH ELEVATION SC. 1/4" = 1'-0"



SOUTH ELEVATION SC. 1/4" = 1'-0"



WEST ELEVATION SC. 1/4" = 1'-0"

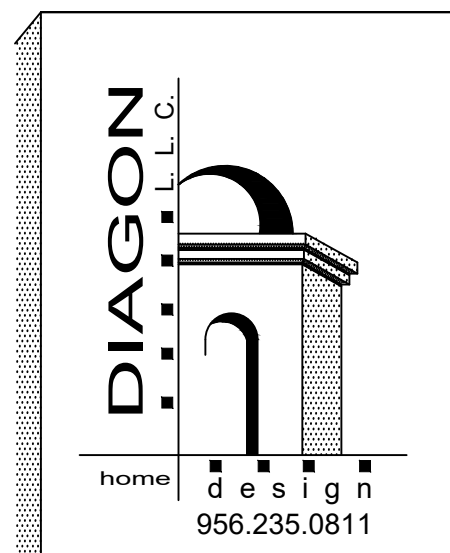


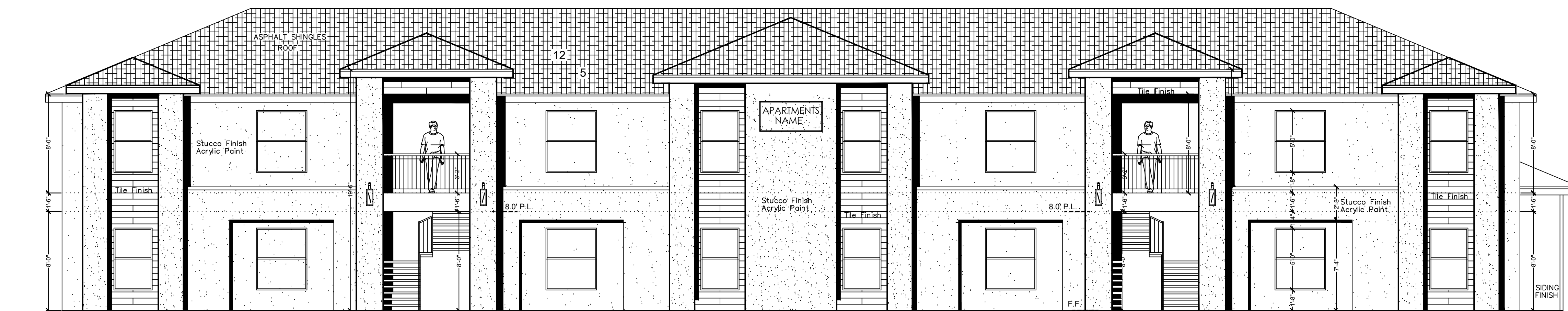
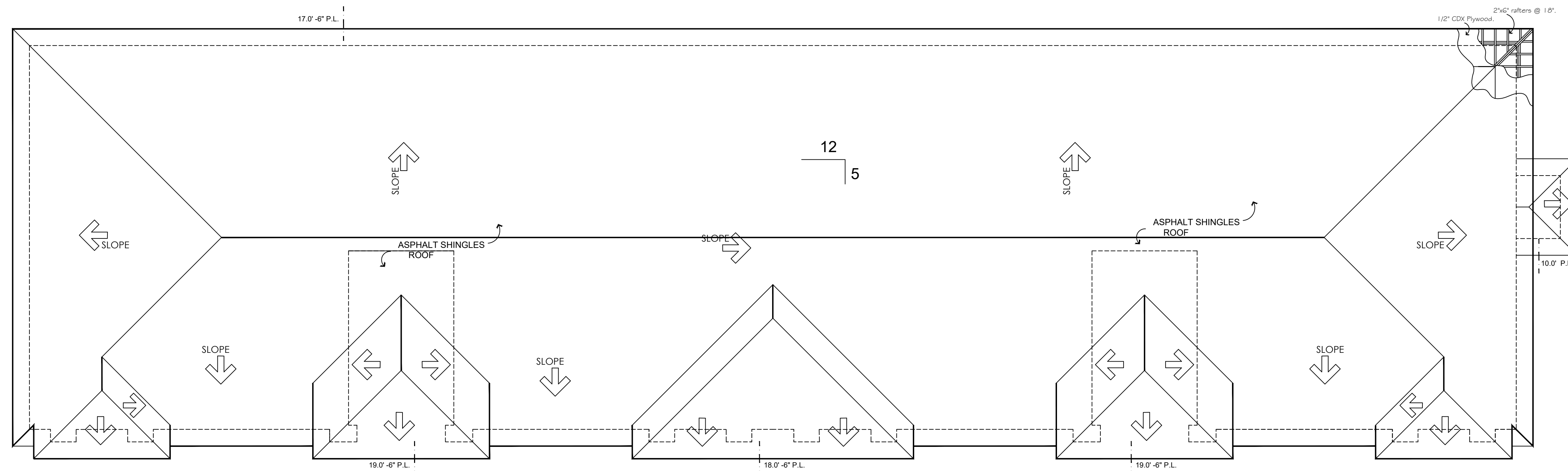
ROOF PLAN 8 UNITS SC. 3/16" = 1'-0"

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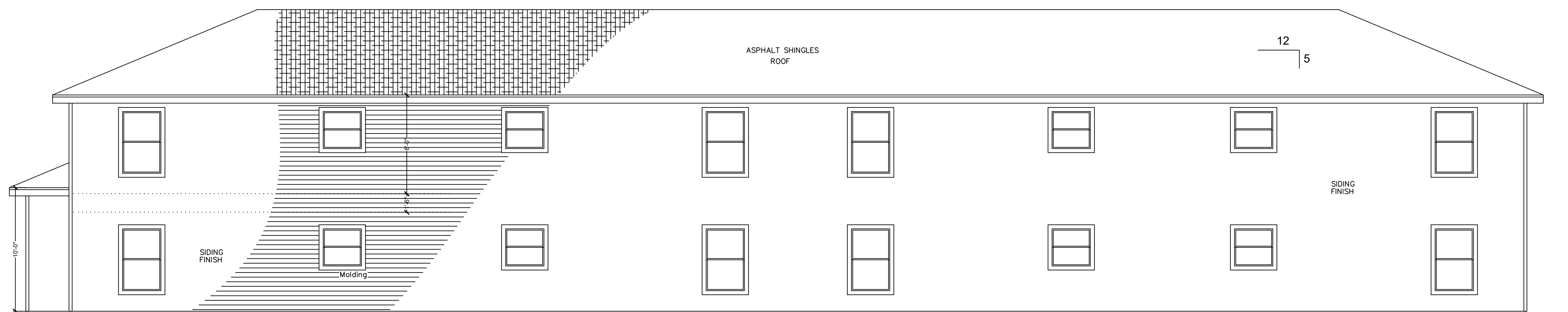
DRAWINGS	
ROOF PLAN ELEVATIONS 4 UNITS	
JULY/22	P. DIAZ
SHEET A-04	
SHEET COUNT 5 OF 10	

BLK. 914 LOT. 7-8-9
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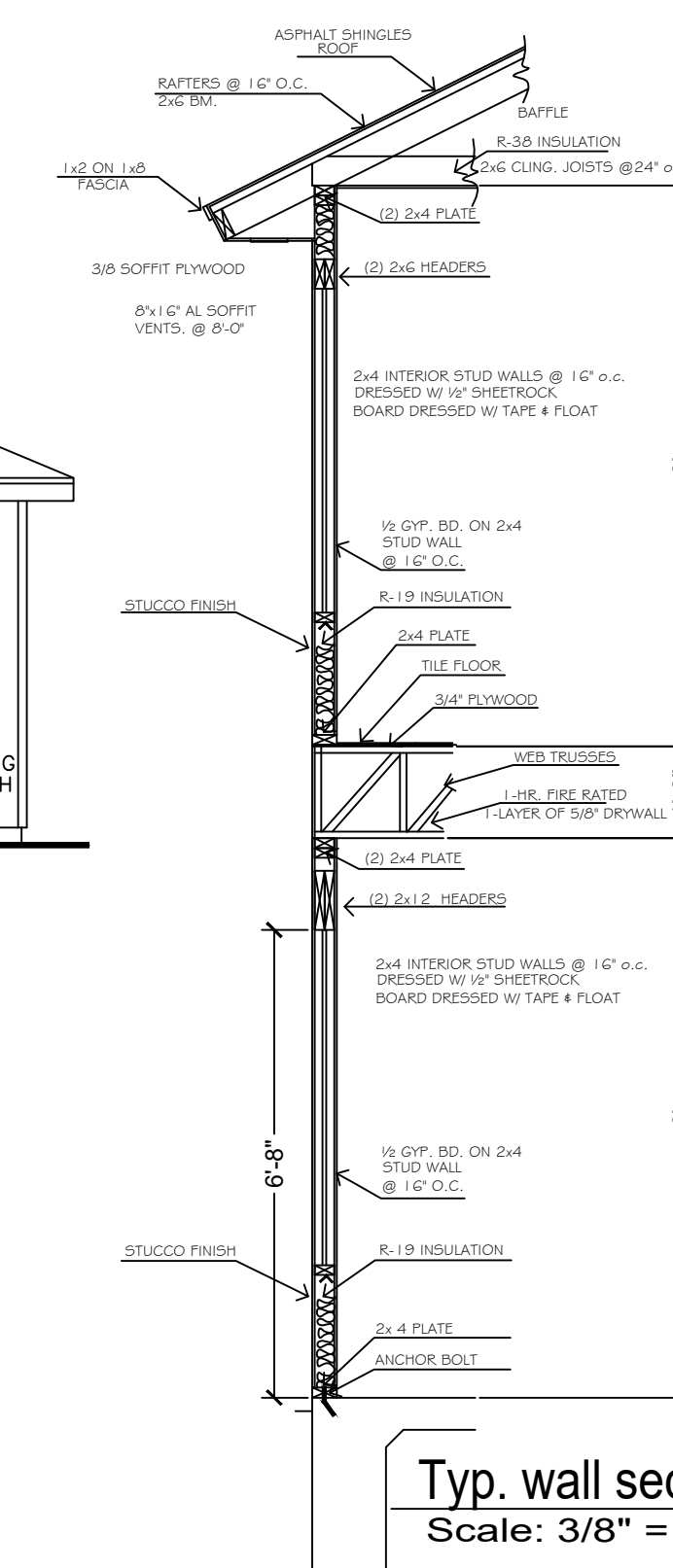




EAST ELEVATION SC. 3/16" = 1'-0"



WEST ELEVATION SC. 3/16" = 1'-0"



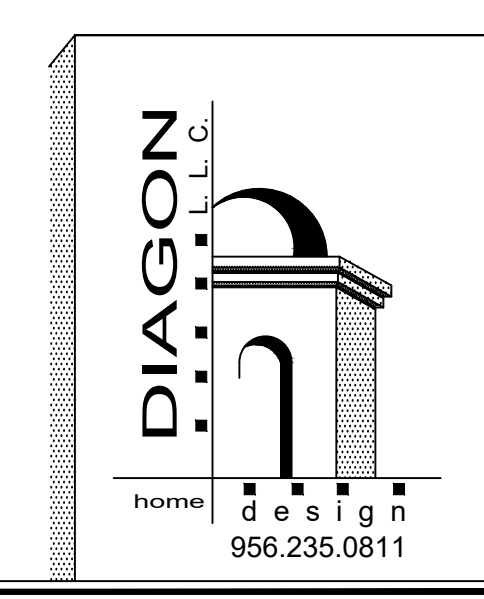
Typ. wall section Scale: 3/8" = 1'-0"

SAN JOSE APARTMENTS
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BUILDER
DRAWINGS
ROOF PLAN ELEVATIONS
- 8 UNITS -
JULY/22 P. DIAZ
SHEET A-07
SHEET COUNT 8 OF 10

BLK. 914 LOT. 7-8-9
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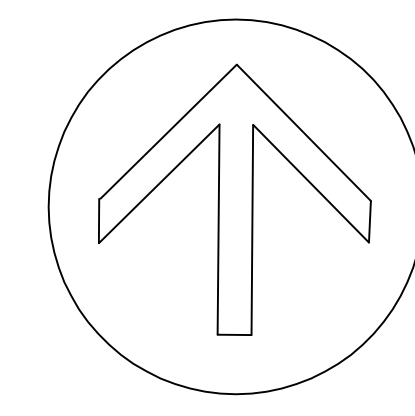
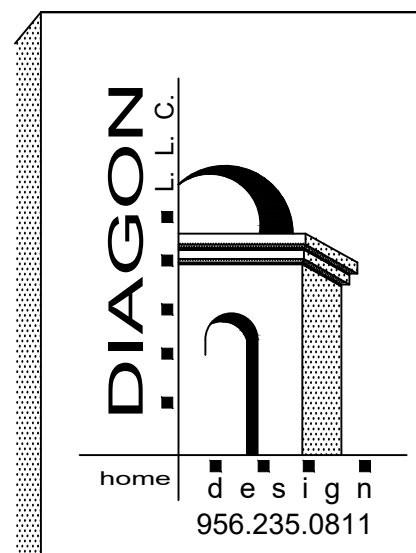
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SAN JOSE
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BUILDER
 DRAWINGS
 SITE PLAN
 MAY22 P. DIAZ
 SHEET A-01
 SHEET COUNT 2 OF 10

BLK.914 LOT.7-8-9
 117 S. MENDIOLA AVE.
 EASTERN DIV.
 LAREDO, TX.



NORTH

GENERAL NOTES :

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL BE:
 - OBTAIN ALL BUILDING & CONSTRUCTION PERMITS AS REQUIRED BY THE PERTINENT LOCAL REGULATORY .
 - VERIFY LOCATIONS, PROPERTY LINES, LIMITS OF WORK, EASEMENTS, ELEVATIONS & AFFECTING HIS WORK & PROTECT SAME WHERE NECESSARY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS, CONDITIONS AND WORK, AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- USE DIMENSIONS THAT ARE ON THE DRAWINGS OR ARE PROVIDED BY THE DESIGNER, VERIFY ALL DIMENSIONS BY FIELD MEASUREMENTS. WRITTEN DIMENSIONS ON DRAWINGS TAKE PREFERENCE.
- PROVIDE SILT FENCE ON LOWER END OF THE LOT

NOTES ON COMMERCIAL DRIVEWAY

- MINIMUM CONCRETE THICKNESS 7" . 3000 PSI CONCRETE.
- MINIMUM 6"X6" WIRE MESH #6.
- MINIMUM REINFORCED WITH #3 REBAR @ 24 O.C.

NOTES ON SIDEWALK CONSTRUCTION

- CONCRETE SHALL BE 3000 P.S.I., CLASS A.
- 1/2" THICK MINIMUM PREFORMED BITUMINOUS EXPANSION JOINT MATERIAL SET 3/4" BELOW
- MIN. SIDEWALK THICKNESS 4" RAISE THE SIDEWALK
- DOWELS SHALL BE PLAIN BARS AND SHALL HAVE 1/2 THE BAR WRAPPED WITH 2 LAYERS OF ROOFING FELT OR PLASTIC TUBE .
- 6"X6", W2.9 XW2.9 SHALL BE USED AS REINFORCEMENT .
- CONTROL JOINTS SHALL BE SCORED AT SPACING EQUAL TO WIDTH OF SIDEWALK.
- THE FINISH SHALL BE SEMI SMOOTH WITH STIFF BROOM FINISH.
- EXPANSION JOINTS AT MAXIMUM 80 FEET WITH SMOOTH 18" LONG DOWELS @18"O.C. AND 1/2" MINIMUM PREFORMED BITUMINOUS EXPANSIONS JOINT MATERIAL.
- FORM FOR SIDEWALK SHALL BE FULL DEPTH FOR DIMENSION SPECIFIED.

EXPANSION JOINT STANDARD :

- Shall be 1/2" Bituminous Type preformed expansion joint filler A.S.T.M. D-1751
- Large aggregate in contraction joint, shall be separated to a depth of 1", finish depth shall be a minimum of 3/4"

AREAS :

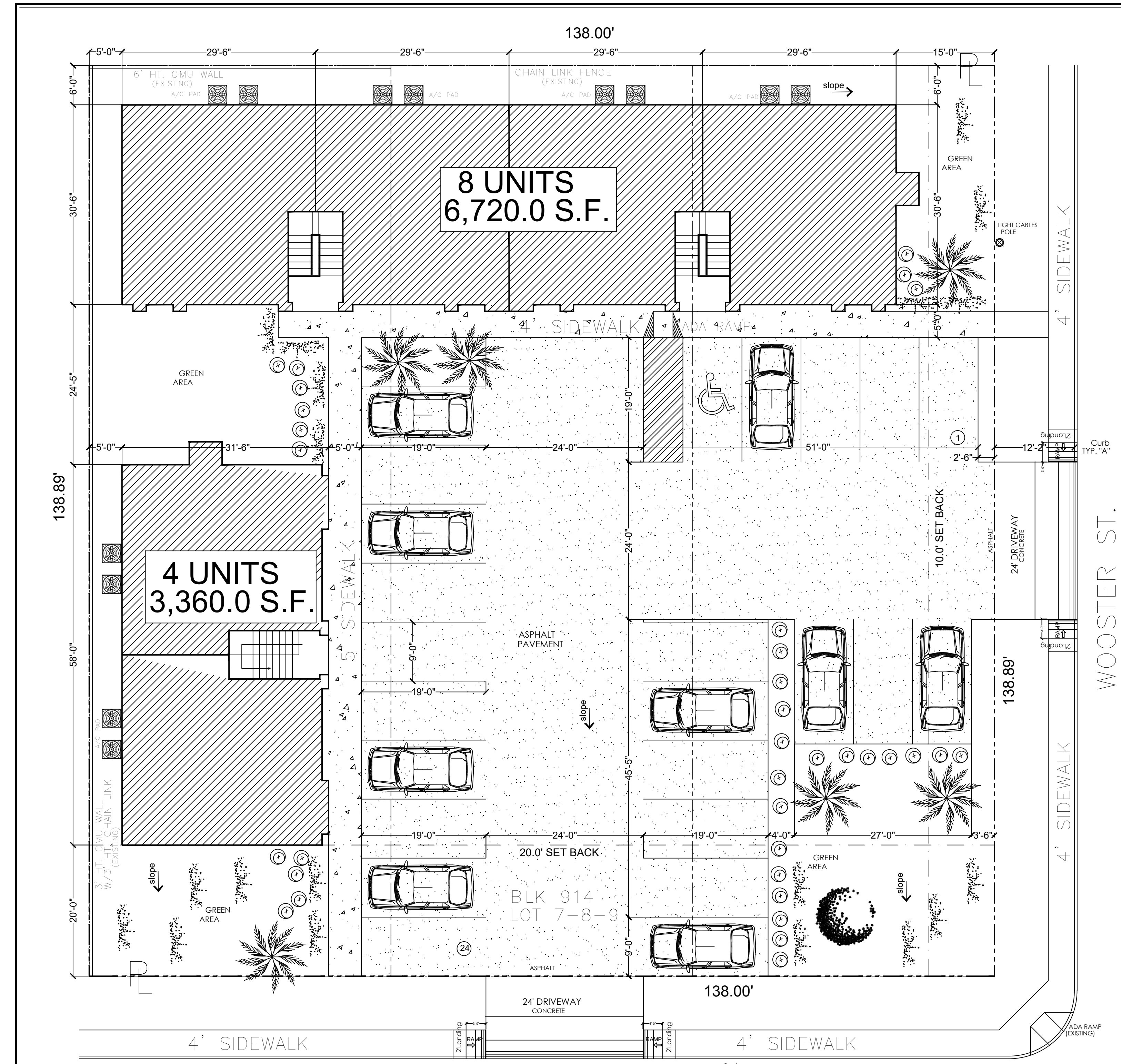
LIVING AREA APARTMENT (1-12)	10,080.0 SQ.FT.
EACH APT.	840.0 SQ.FT.
PORCH UNITS (1ST. LEVEL)	390.0 SQ.FT.
EACH PORCH	130.0 SQ.FT.
PORCH UNITS (2ND. LEVEL)	144.0 SQ.FT.
EACH PORCH	48.0 SQ.FT.
TOTAL CONSTRUCTION AREA:	10,614.0 SQ.FT.

LANDSCAPING LEGEND

	SHRUBS 3 GAL.
	LIVE OAK 8" (HEIGHT: 8'-10')
	PALM TREE
	SAN AGUSTIN GRASS

1 SITE PLAN.- scale 10' = 1' - 0"

2012 INTERNATIONAL FIRE CODE
 2012 BUILDING CODE
 2012 MECHANICAL CODE
 2012 PLUMBING CODE
 2015 ENERGY CODE
 2011 N.E.C.



117 S. MENDIOLA

GENERAL NOTES :

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL BE:
 - OBTAIN ALL BUILDING & CONSTRUCTION PERMITS AS REQUIRED BY THE PERTINENT LOCAL REGULATORY .
 - VERIFY LOCATIONS, PROPERTY LINES, LIMITS OF WORK, EASEMENTS, ELEVATIONS & AFFECTING HIS WORK & PROTECT SAME WHERE NECESSARY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS, CONDITIONS AND WORK, AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- USE DIMENSIONS THAT ARE ON THE DRAWINGS OR ARE PROVIDED BY THE DESIGNER, VERIFY ALL DIMENSIONS BY FIELD MEASUREMENTS. WRITTEN DIMENSIONS ON DRAWINGS TAKE PREFERENCE.

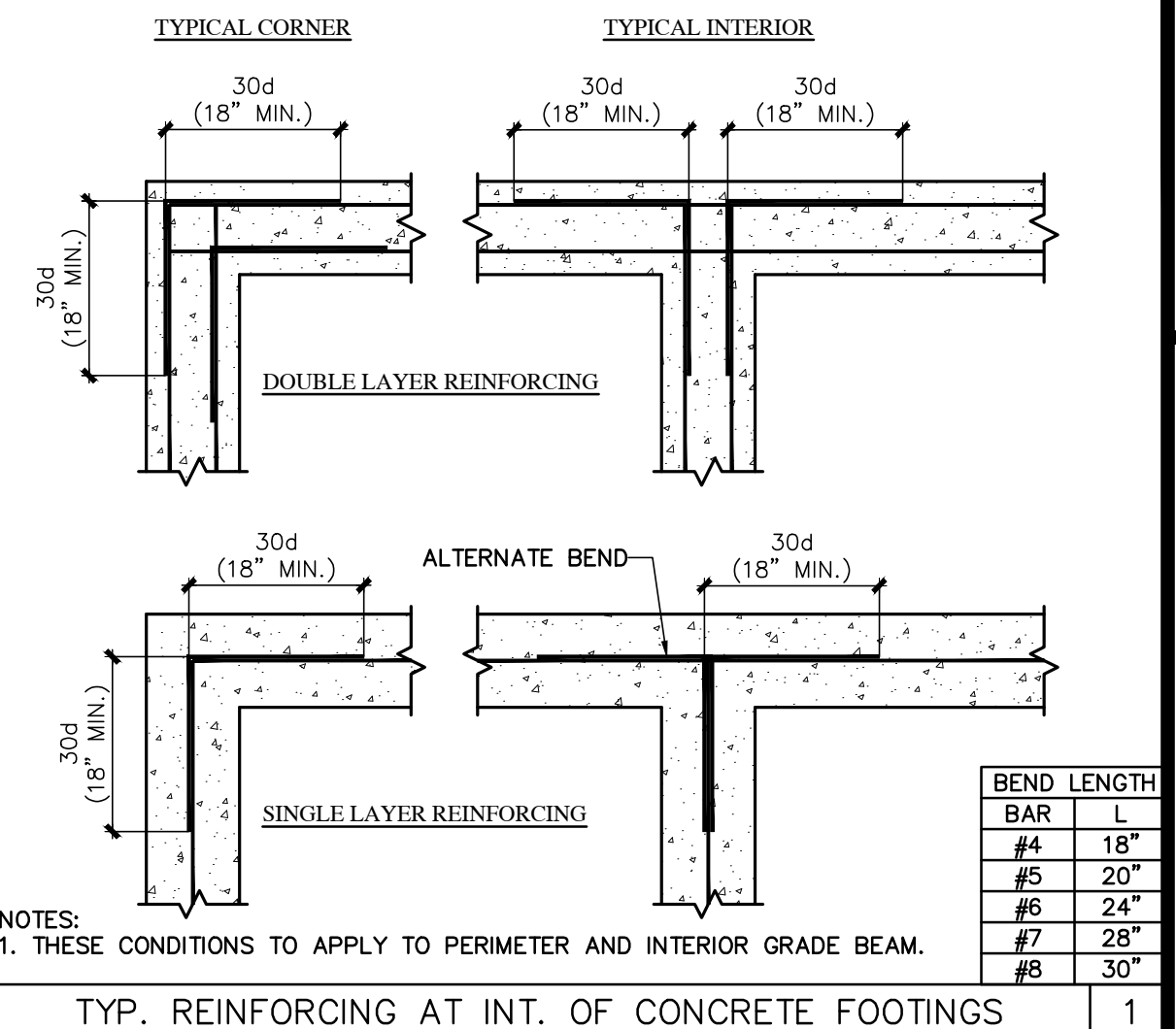
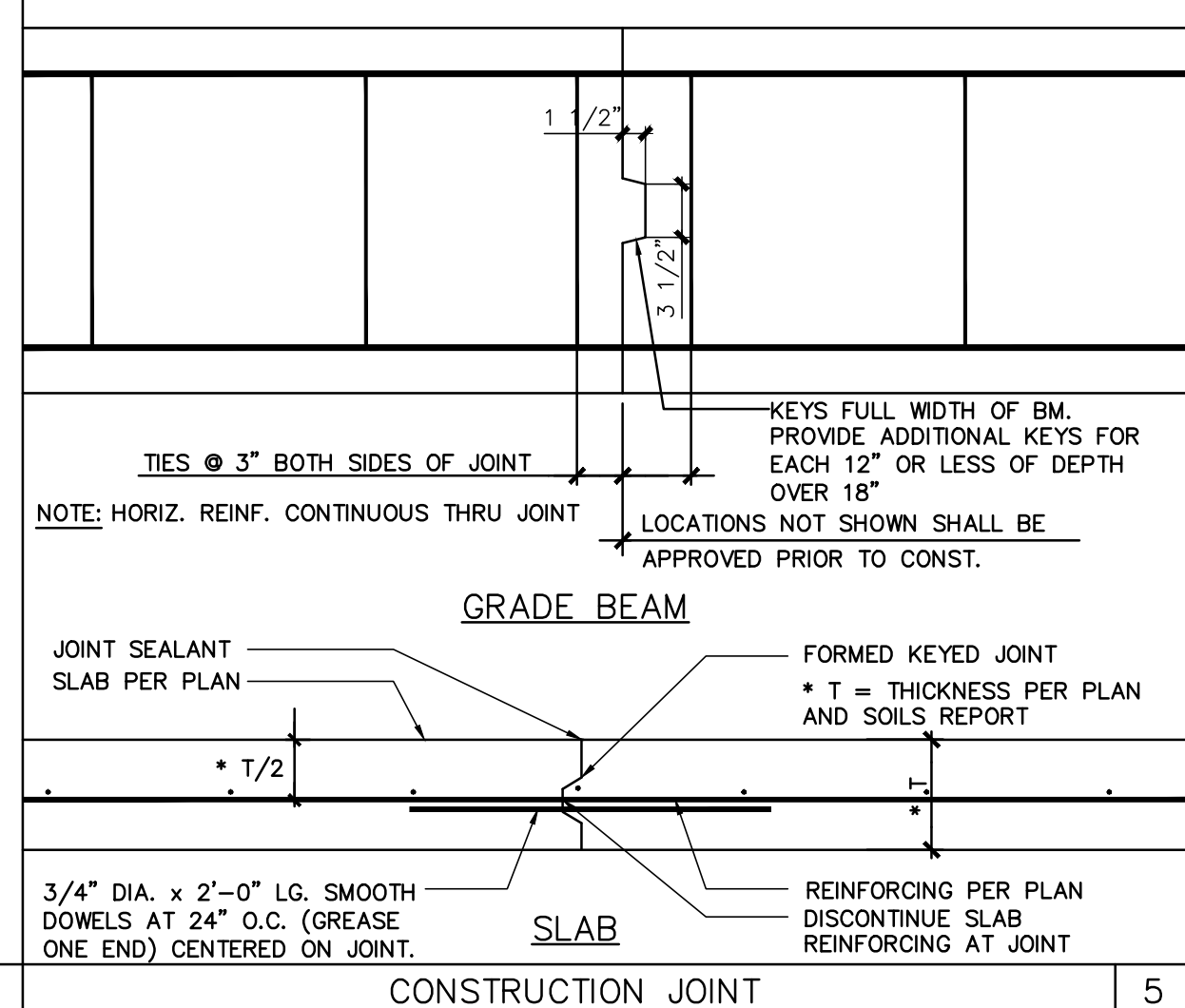
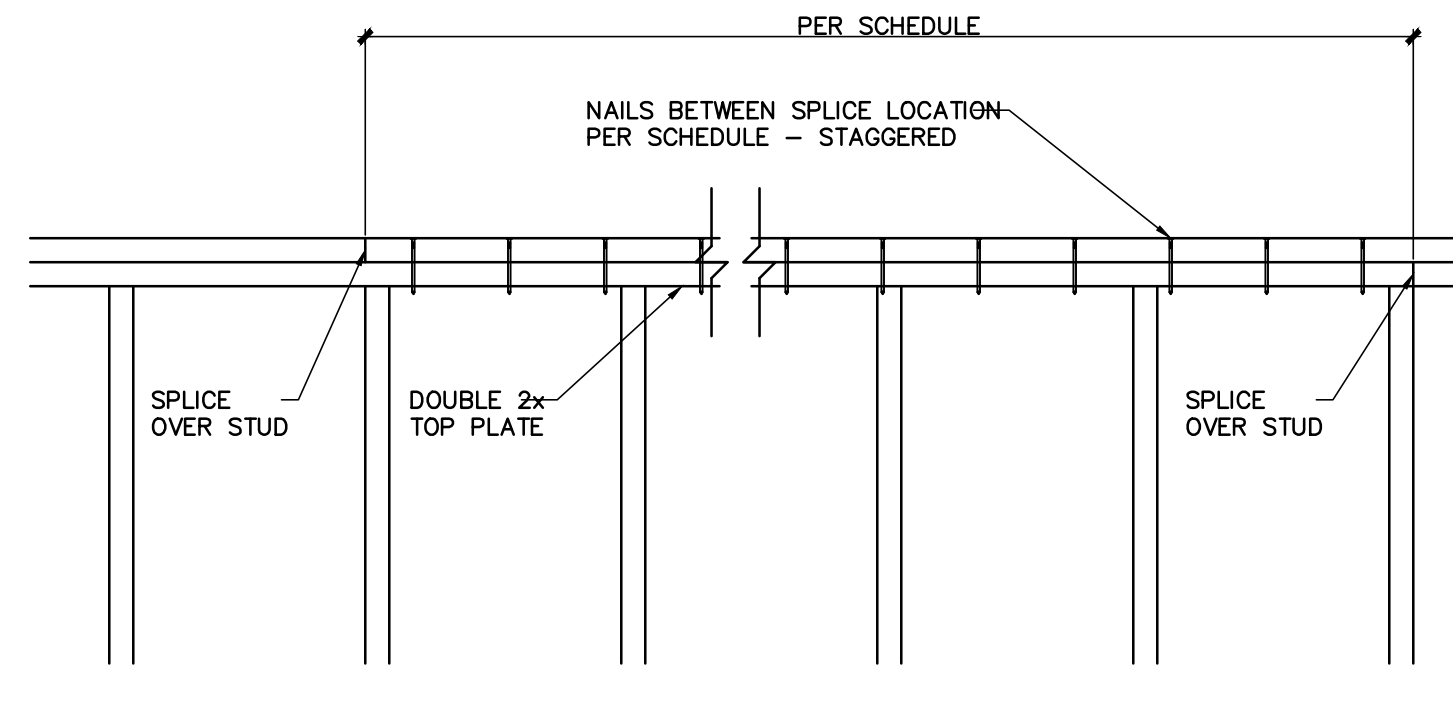
THE LANDSCAPING INFORMATION IS THE RESPONSABILITY OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH THE OWNER THE TYPE OF SOD, TREES, LANDSCAPING & IRRIGATION REQUIREMENTS.

THE CONTRACTOR SHALL PREPARE AND SUBMIT IRRIGATION SHOP DRAWINGS PREPARED BY A LICENCE IRRIGATION CONTRACTOR TO THE OWNER AS REQUIRED PER APPLICABLE CODES

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TOP PLATE SPLICE SCHEDULE		
LENGTH OF WALL (BETWEEN CORNERS)	SPLICE LENGTH MINIMUM	NAILS ALONG SPLICE LENGTH
OVER 30'	4'-0"	18-16d
OVER 20'	2'-8"	10-16d
OVER 10'	1'-4"	6-16d
LESS THAN 10'	1'-4"	4-16d

NOTES:
 1. DO NOT SPLICE TOP PLATES WITHIN 6'-0" OF ENDS OF PLYWOOD SHEARWALLS.
 2. THIS DETAIL REQUIRED AT ALL EXTERIOR WALLS - NOT REQUIRED AT INTERIOR NON-SHEARWALLS.



REVISIONS	

SAN JOSE APARTMENTS
 117 S. Mendiola Ave.
 LAREDO, TEXAS 78043

DETAIL NOT USED

17

TYPICAL TOP PLATE SPLICE

CONSTRUCTION JOINT

TYP. REINFORCING AT INT. OF CONCRETE FOOTINGS

1

DETAIL NOT USED

18

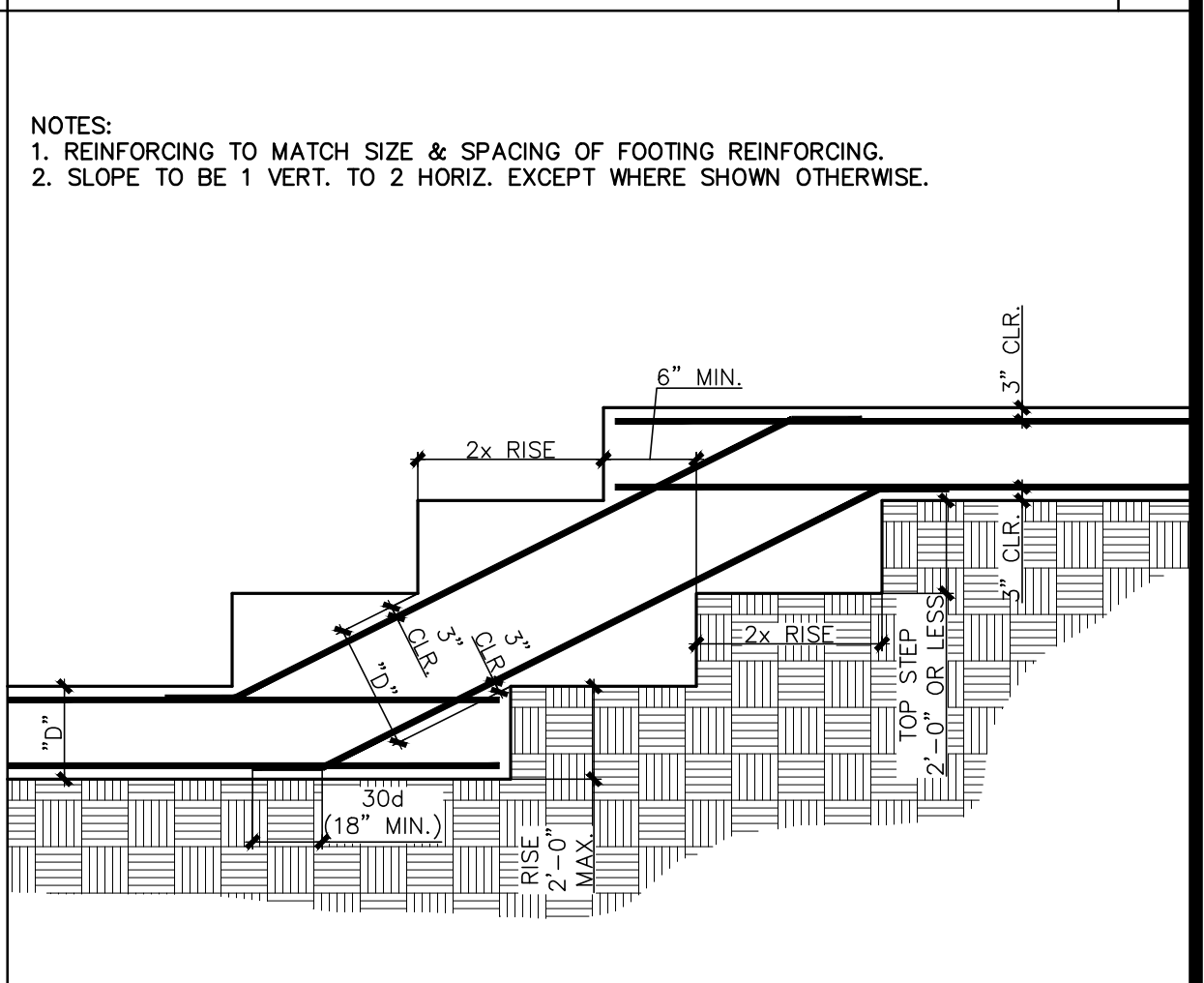
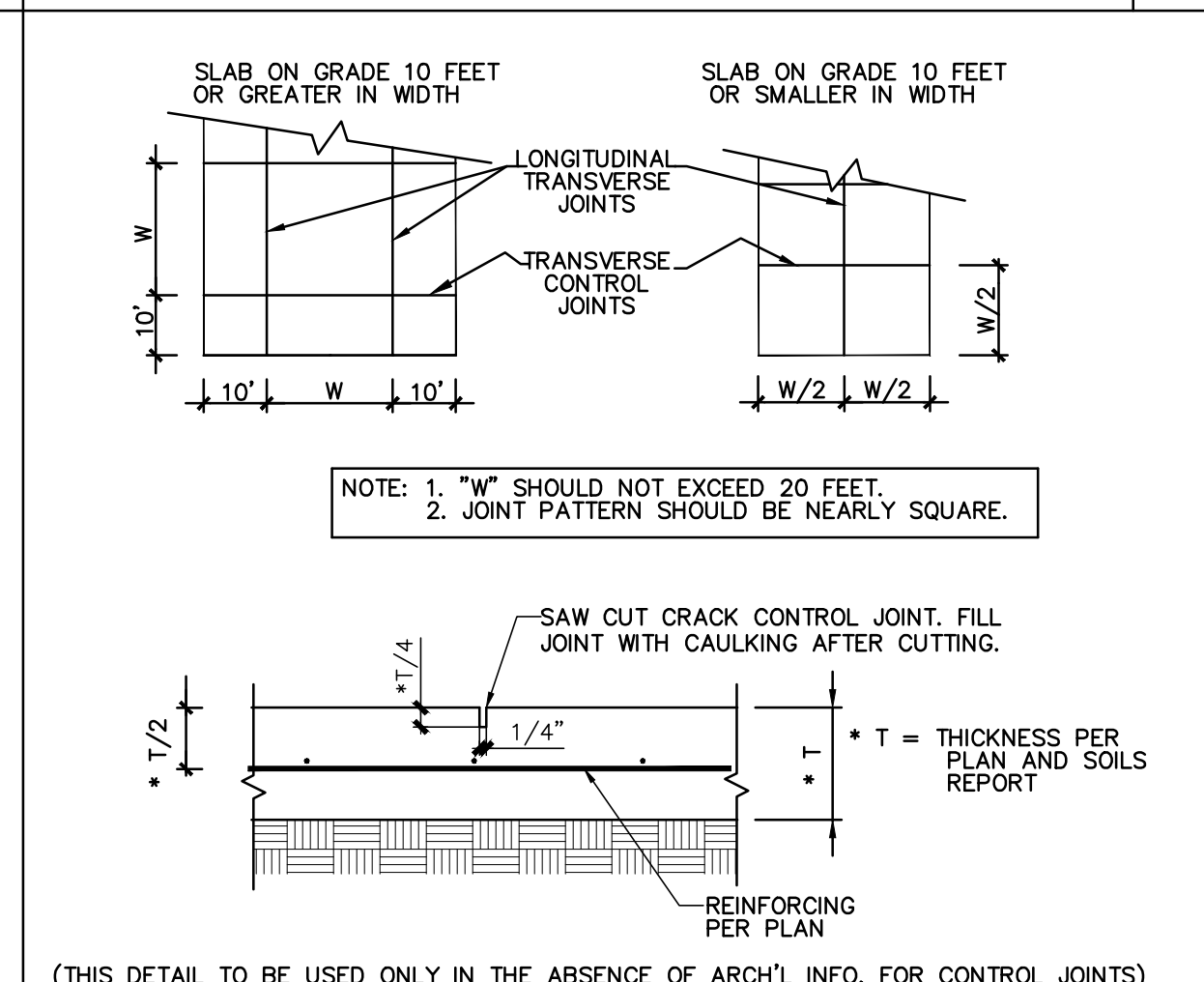
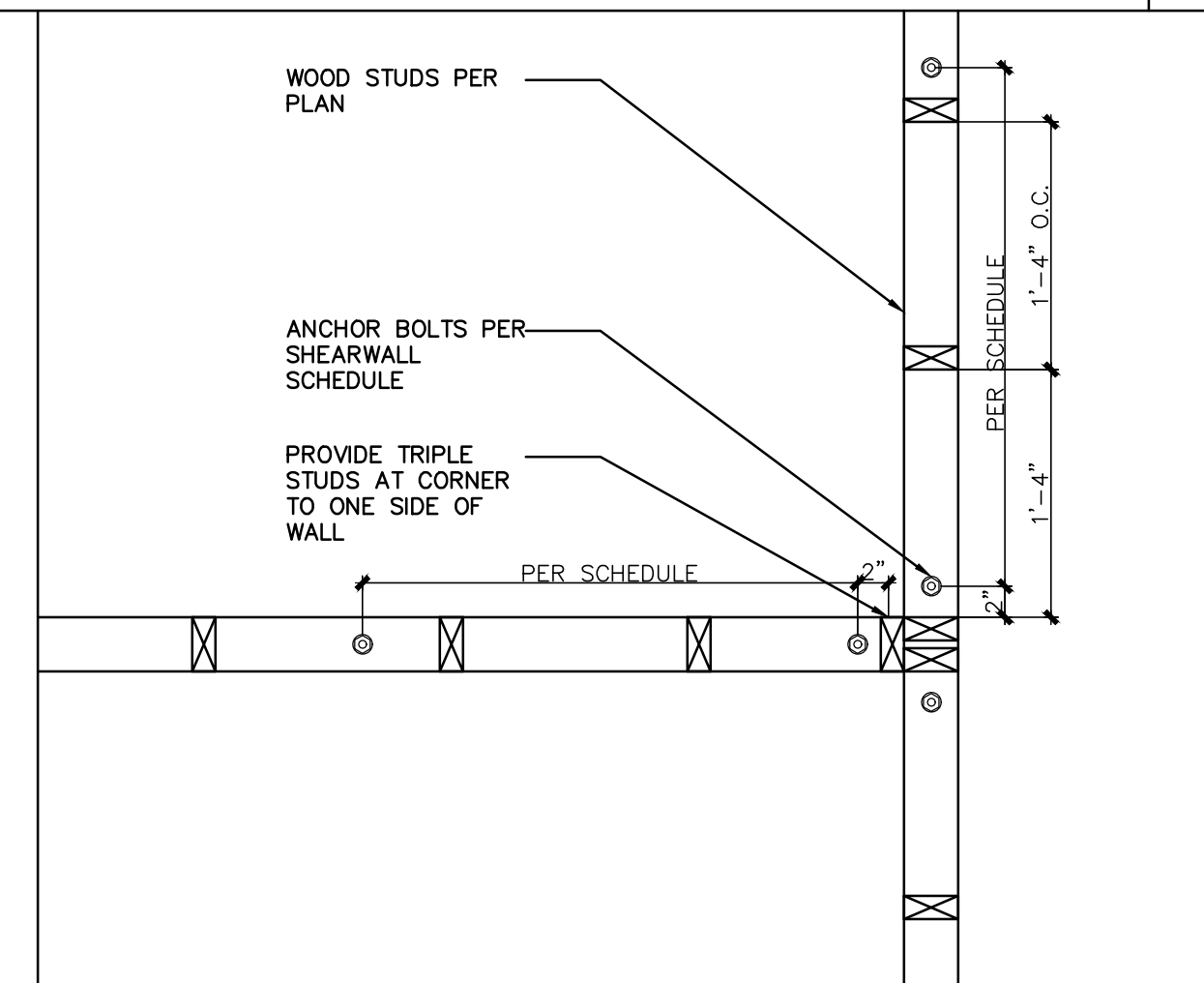
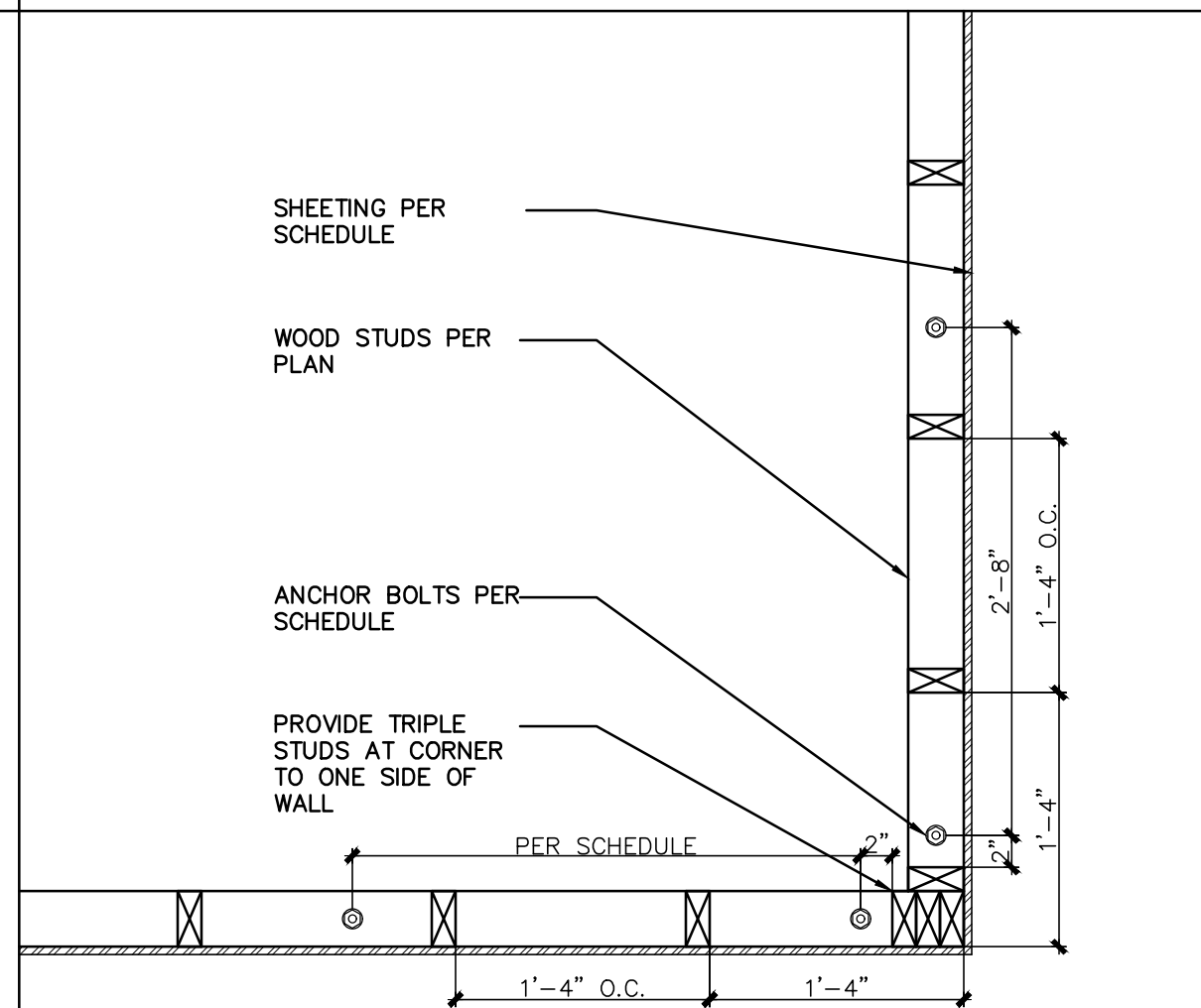
WOOD STUDS TYPICAL CORNER

WOOD STUDS AT TYPICAL INTERSECTION

SLAB CONTROL JOINT DETAIL

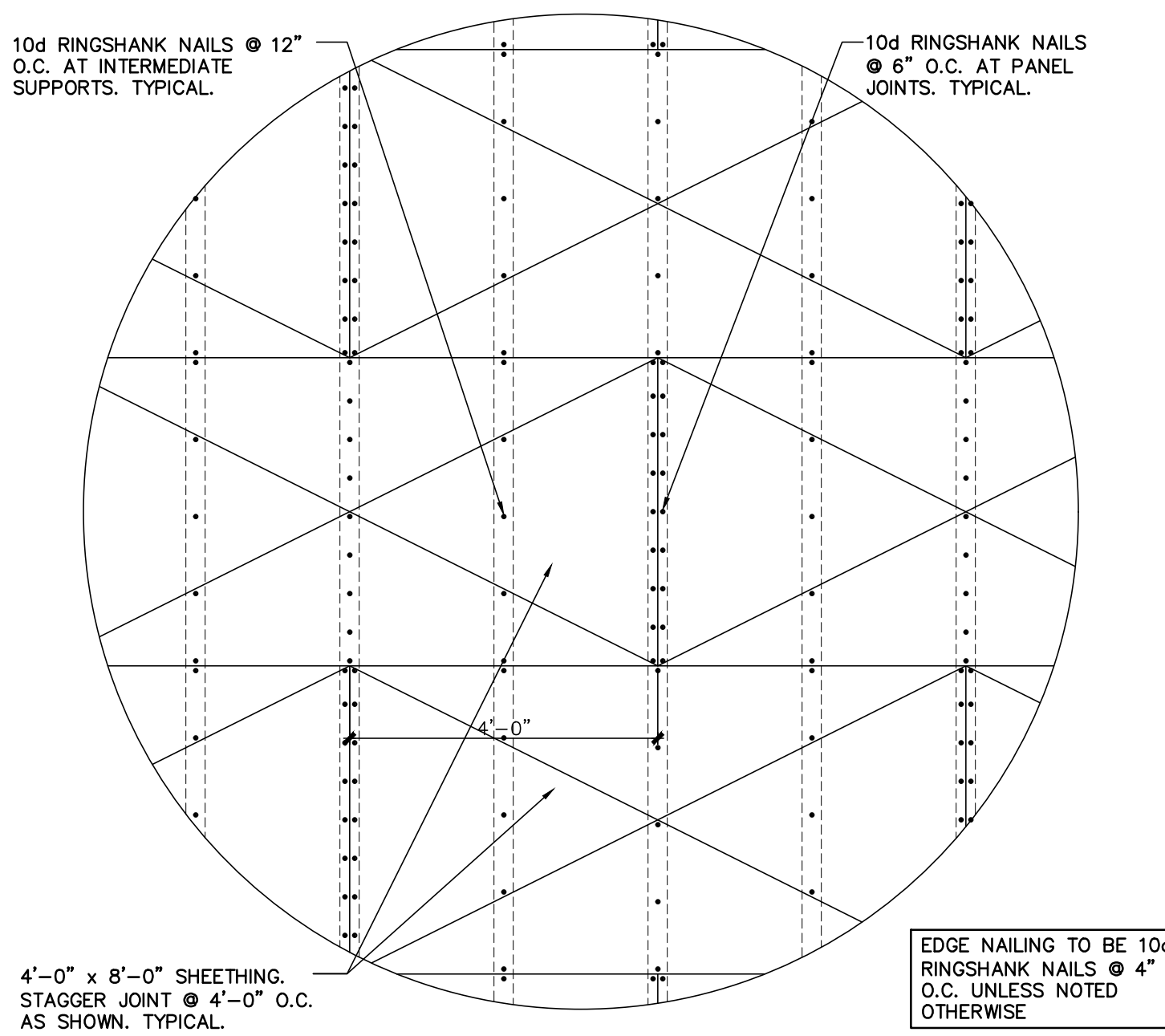
TYPICAL STEPPED WALL FOOTING

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DETAIL NOT USED

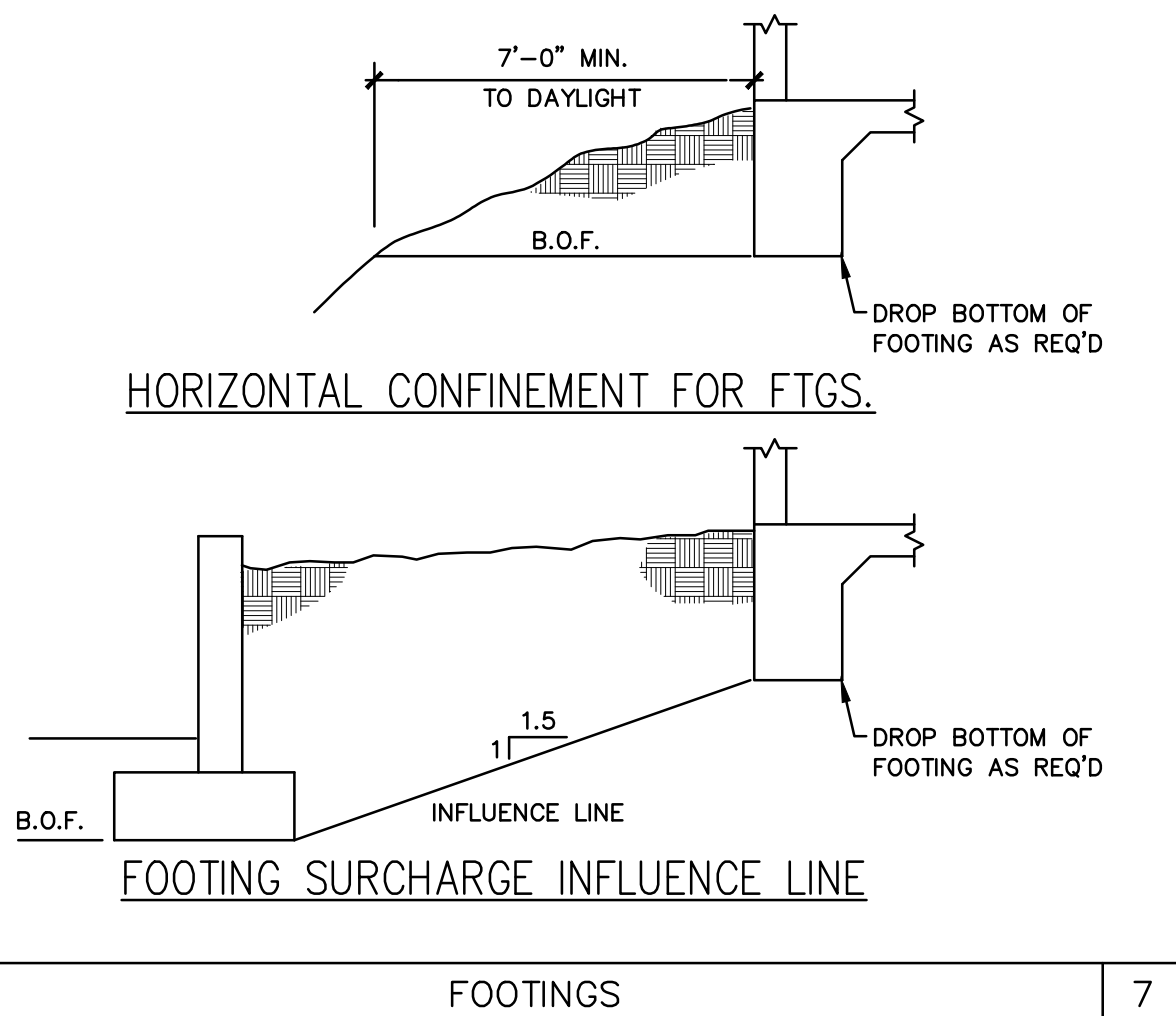
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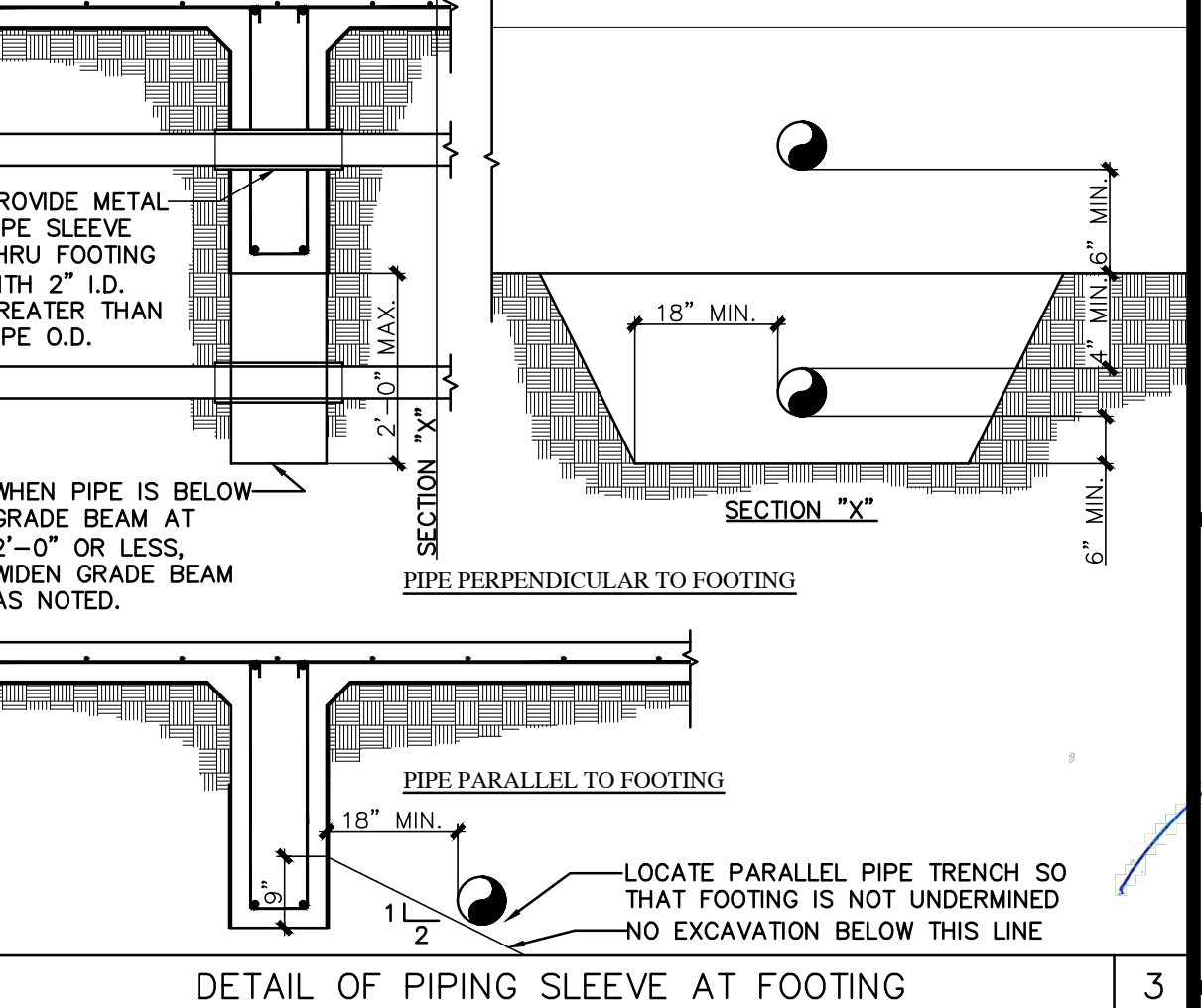
TYP. WALL AND ROOF SHEETING LAYOUT PATTERN

DETAIL NOT USED

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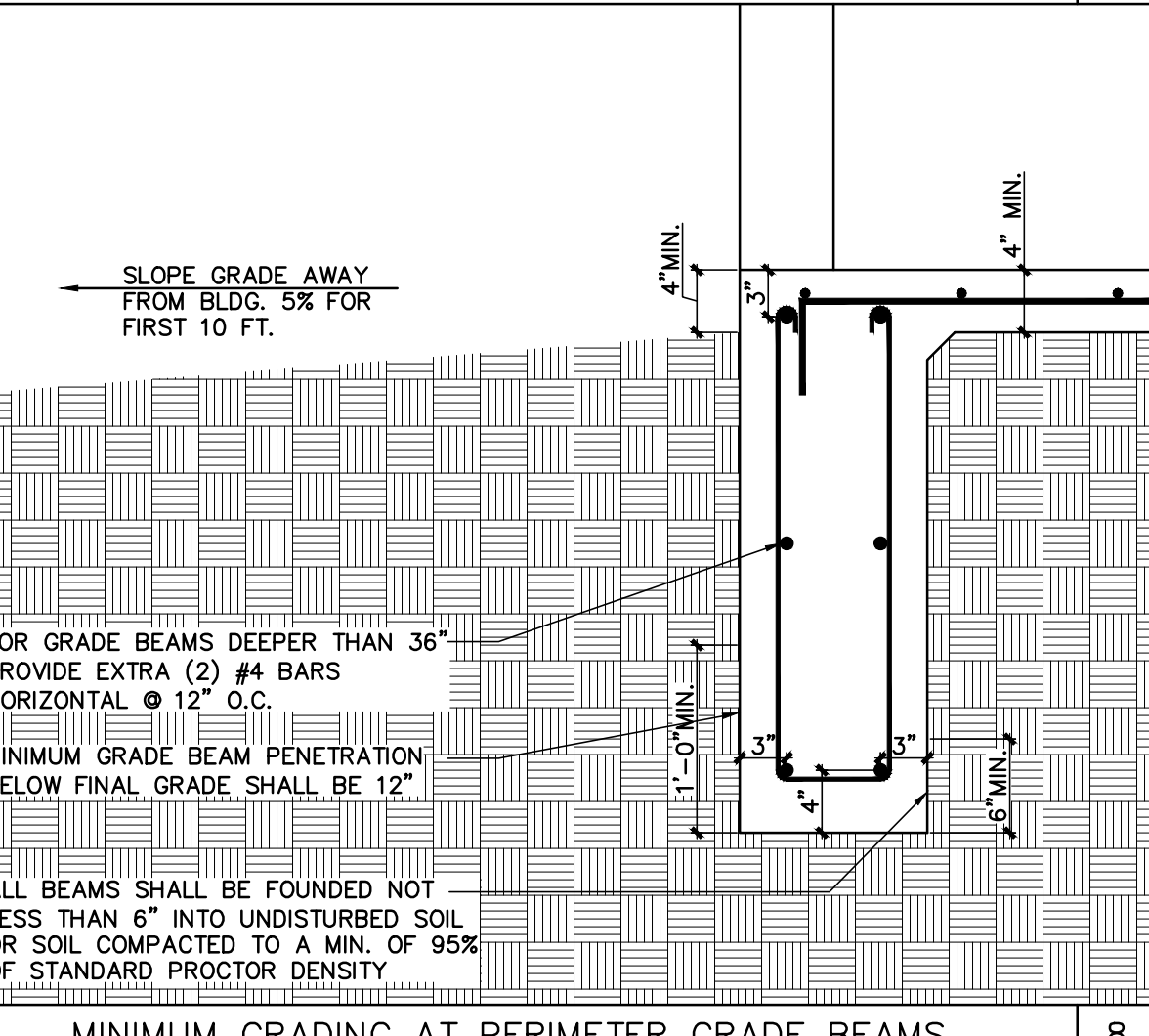


FOOTINGS



DETAIL OF PIPING SLEEVE AT FOOTING

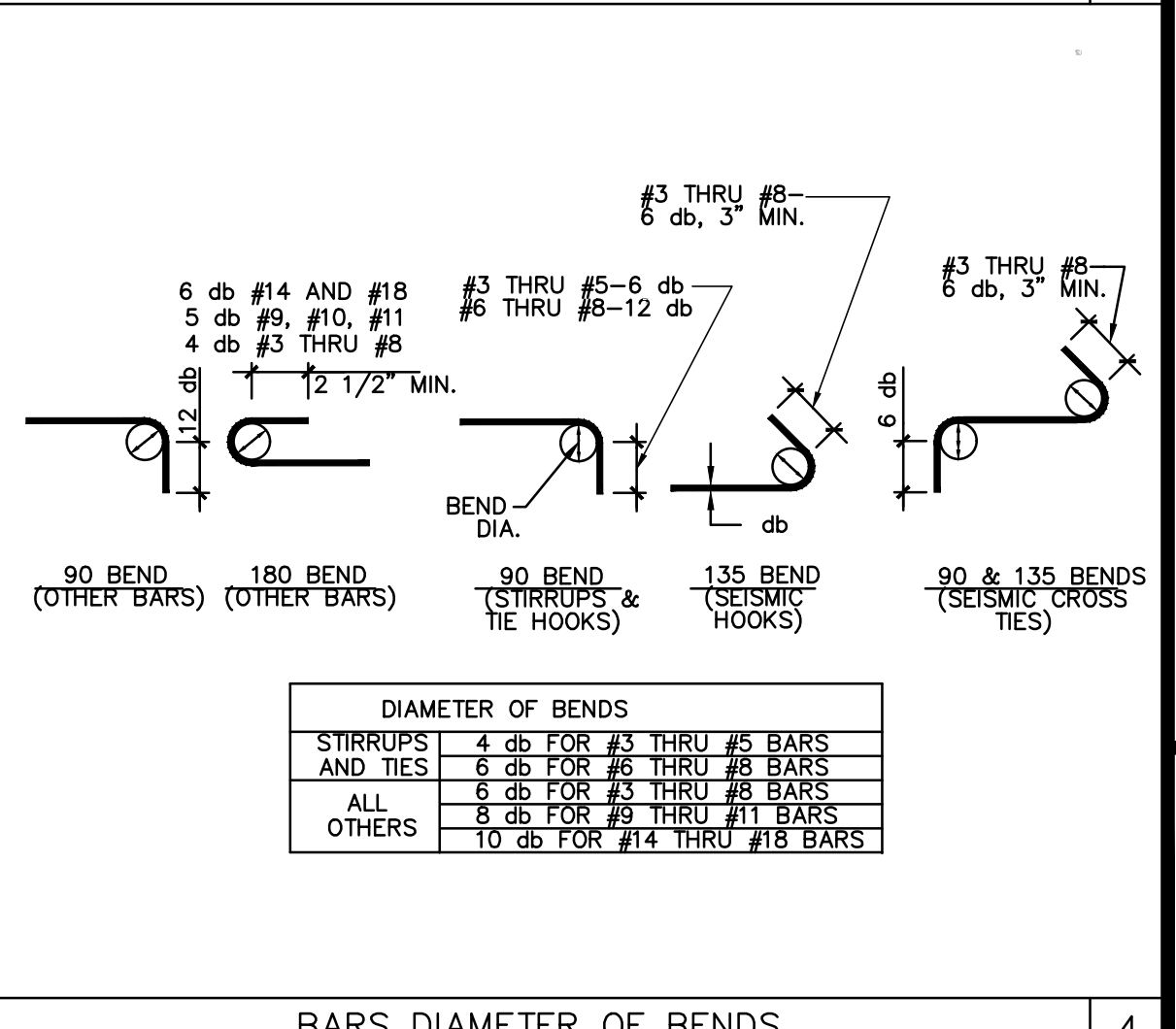
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MINIMUM GRADING AT PERIMETER GRADE BEAMS

DETAIL NOT USED

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DIAMETER OF BENDS

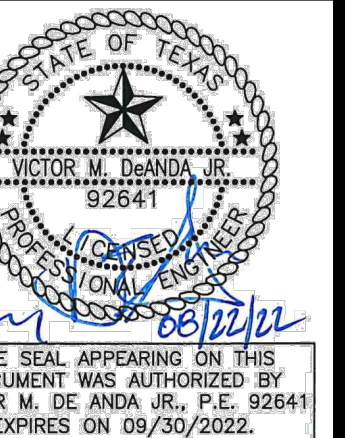
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 Laredo, TX 78043
 (956) 753-8860 synergy@synergy-se.com
 TBP# Reg. No.: F-7661



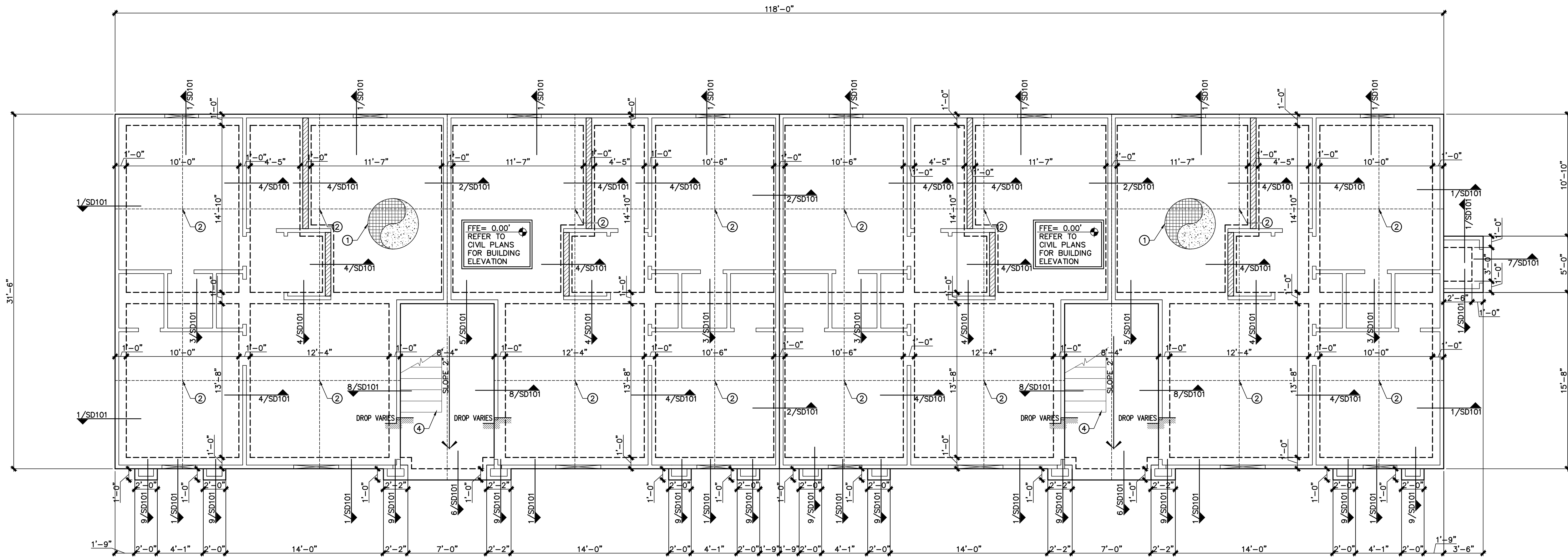
TYPICAL DETAILS
 Drawing Name: SSE-22-139
 Job No.: AUGUST 22, 2022
 Date: VDA/MSM
 Drawn By: VDA
 Check by:

Sheet
S002

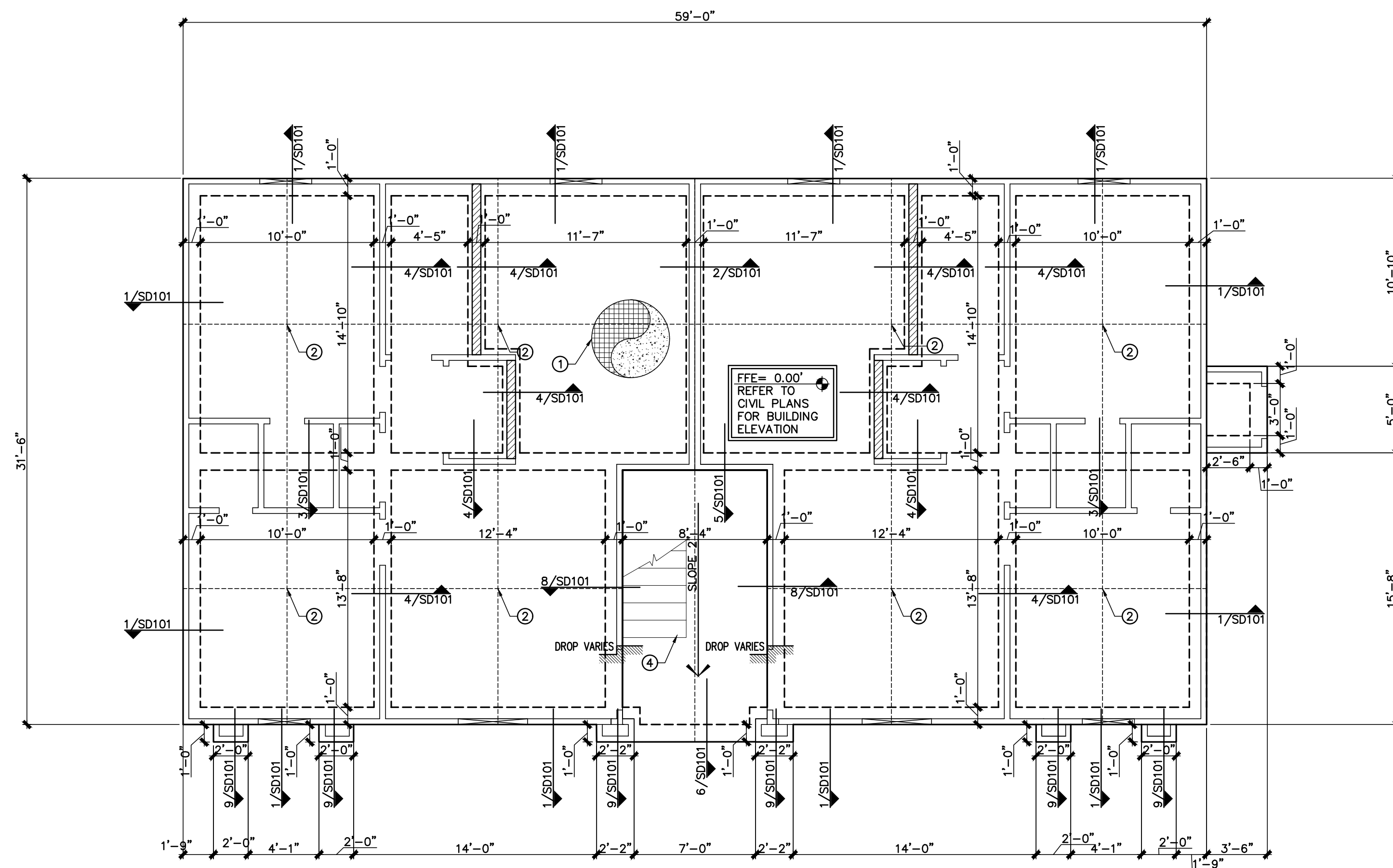


FOUNDATION PLAN
BUILDING A & B
SSE-22-139
AUGUST 22, 2022
VDA/SM
VDA

Sheet
S101



1 FOUNDATION PLAN - BUILDING A
SCALE: 3/16"=1'-0"



2 FOUNDATION PLAN - BUILDING B
SCALE: 3/16"=1'-0"

FOUNDATION NOTES

- SEE SHEET S001 FOR GENERAL NOTES.
- SEE SHEET S002 FOR TYPICAL DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL FLOOR DRAINS (F.D.) WHETHER OR NOT THEY ARE NOTED ON THE STRUCTURAL NOTES OR PLANS.
- DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION, COORDINATE WITH ARCHITECTURAL PLANS.
- CONTRACTOR/SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS WITH ARCHITECTURAL PLANS BEFORE COMMENCING ANY WORK. THE CONTRACTOR/SUBCONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER BEFORE THE WORK HAS BEGUN.
- WALL LEGEND:
2x4 WOOD STUD WALL RE: SCHEDULE
2x6 WOOD STUD WALL RE: SCHEDULE
- ABBREVIATIONS:
BFF=BELOW FINISH FLOOR ELEVATION
FFE=FINISH FLOOR ELEVATION
CLC=CENTER LINE OF COLUMN
- REFER TO ARCHITECTURAL PLANS FOR BENCH MARK OF FINISH FLOOR ELEVATION.
- REFER TO CIVIL PLANS FOR RAMP, STAIRS & SIDEWALKS.
- REFER TO DETAIL 8/S101 FOR MINIMUM GRADING REQUIREMENTS AROUND BUILDING.

KEYED FOUNDATION NOTES

- 5" THICK SLAB ON GRADE WITH #4 BARS @ 16" O.C. EACH WAY AT MID-DEPTH OF SLAB OVER 10 MIL VISQUEEN MOISTURE BARRIER OVER APPROVED COMPACTED FILL.
- SLAB CONTROL JOINTS, SEE DETAIL 6/S002.
- PROVIDE (4) STUDS BELOW BEAM BEARING LOCATION GLUED AND NAILED TOGETHER.
- METAL STAIRS PER ARCHITECT, REFER TO ARCHITECTURAL PLANS FOR TREAD AND RISER DIMENSIONS.

SHEAR WALL SCHEDULE (2/3)

WALL MARK	PANEL THICKNESS	STUD SPACING	HORIZONTAL BLOCKING	NAILS	EDGE NAILING	INTERMEDIATE NAILING	ANCHOR BOLTS TO FOUNDATION	ANCHOR BOLTS SPACING
SW-1 (1)	1/2"	16" O.C.	4'-0" O.C.	8d (4)	6" O.C.	6" O.C.	5/8" DIA. x 12"	32' O.C.

- FOOTNOTES:
- TYPICAL EXTERIOR WALL.
 - PROVIDE 1/2" CDX PLYWOOD AT ALL EXTERIOR WALLS MIN. U.N.O.
 - ALL SHEARWALL PANELS TO TOP OF PARAPET OR UNDERSIDE OF ROOF DECK.
 - 8d NAILS CAN BE REPLACED FOR TWO (2) 2" STAPLES 16 GA.

WOOD STUDS WALL SCHEDULE

WALL TYPE	STUD SIZE	STUD SPACING	BLOCKING	REMARKS
WSW-1	2x4	16" O.C.	MID-SPAN	TYP. INT/EXT WALL U.N.O.
WSW-2	2x6	16" O.C.	MID-SPAN	TYP. INTERIOR WALL U.N.O.

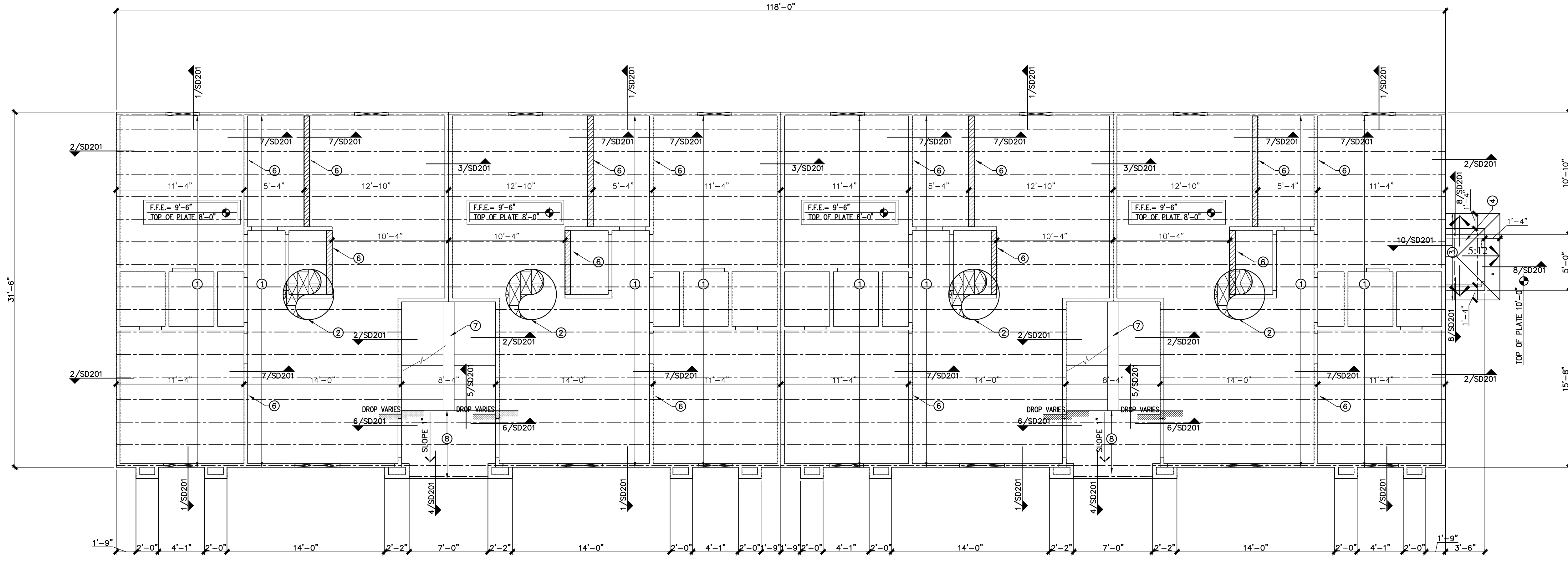
- FOOTNOTES:
- REFER TO WOOD NOTES SECTION ON SHEET S001 FOR WOOD GRADE AND SPECIES.
 - PROVIDE CONT. BLOCKING AT 4'-0" O.C.

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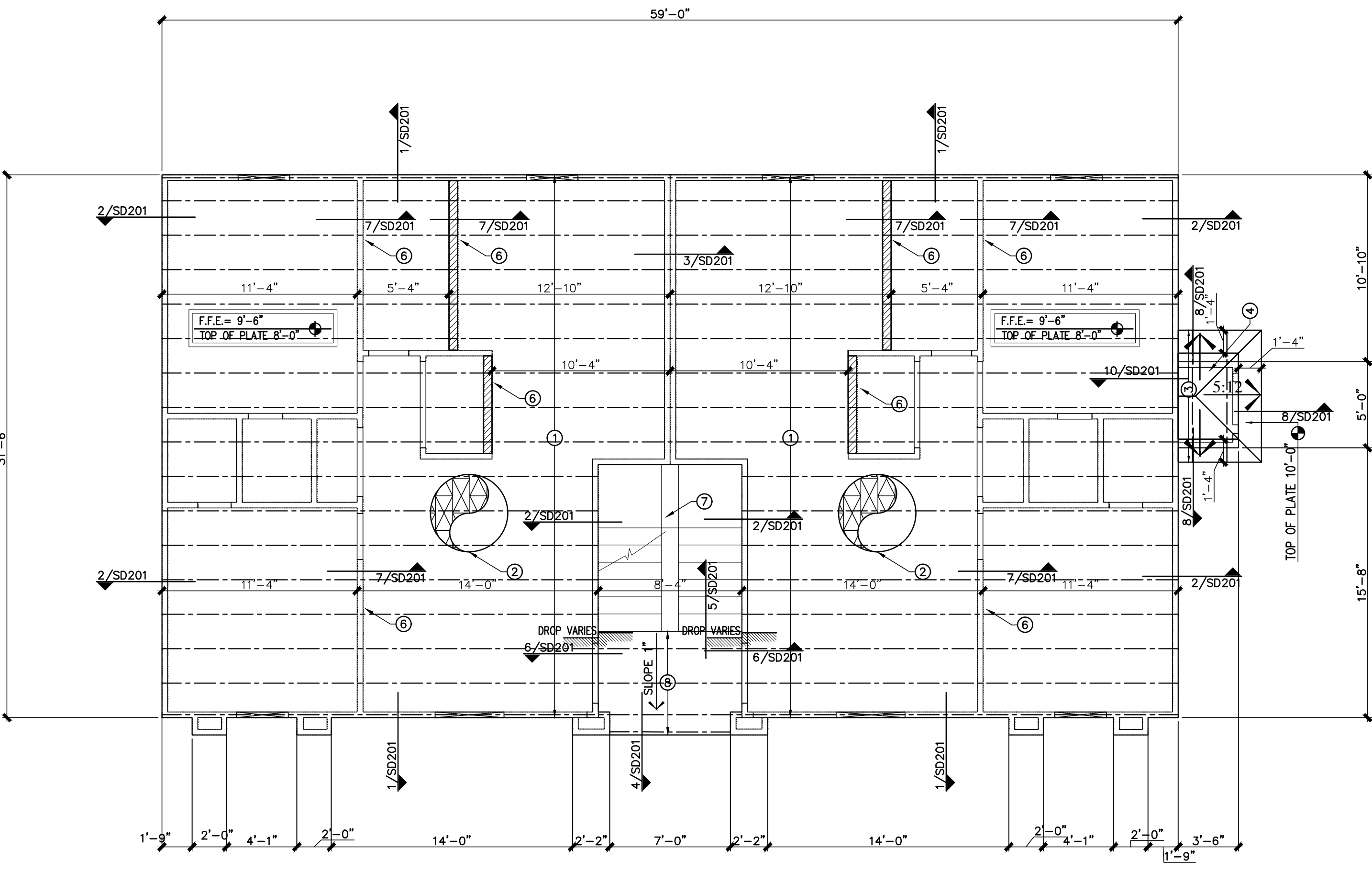
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REVISIONS

SAN JOSE APARTMENTS
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LAREDO, TEXAS 78043



1 2ND FLOOR/LOW ROOF FRAMING PLAN- BUILDING A
SCALE: 3/16"=1'-0"



2 2ND FLOOR/LOW ROOF FRAMING PLAN- BUILDING B
SCALE: 3/16"=1'-0"

FRAMING GENERAL NOTES

1. SEE SHEET S001 FOR GENERAL NOTES.
2. SEE SHEET S002 FOR TYPICAL DETAILS.
3. REFER TO MECHANICAL A/C DRAWINGS FOR LOCATION AND SIZE OF REFRIGERANT PIPING AND DUCT WORK, MECHANICAL UNITS, WEIGHTS, & SUPPORTS.
4. DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION, COORDINATE WITH ARCHITECTURAL PLANS.
5. PRE-ENGINEERED WOOD TRUSS MANUF. TO REFER TO MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT LOCATION AND WEIGHTS.
6. WALL LEGEND:
 2x4 WOOD STUD WALL RE: SCHEDULE
 2x6 WOOD STUD WALL RE: SCHEDULE
7. ABBREVIATIONS:
 BFF=BELOW FINISH FLOOR ELEVATION
 FFE=FINISH FLOOR ELEVATION
 C/L=CENTER LINE OF COLUMN
8. REFER TO ARCHITECTURAL PLANS FOR BENCH MARK OF FINISH FLOOR ELEVATION.
9. REFER TO MECHANICAL DRAWING FOR A/C DUCT SIZES FOR THE DESIGN OF FLOOR AND ROOF TRUSSES.
10. TRUSS MANUFACTURER TO REFER TO ARCHITECTURAL PLANS FOR THE DESIGN OF CEILINGS AT FLOOR AND ROOF TRUSSES.

KEYED FRAMING NOTES

1. PRE-FABRICATED FLOOR WOOD TRUSSES 15-3/4" DEPTH AT 24" O.C. MAX. PROVIDE BLOCKING AND BRIDGING AS PER MANUFACTURERS RECOMMENDATIONS REFER TO MECHANICAL PLANS FOR LOCATION OF A/C DUCTS. PROVIDE LIVE LOAD DEFLECTION L/480.
2. 1-1/2" NORMAL WEIGHT CONCRETE WITH WWF 6x6 W2.9x W2.9 OVER 3/4" THICK PLYWOOD TONGUE & GROOVE STRUCTURAL #1 (SPAN RATING 48/24) GLUED AND NAILED WITH 10d NAILS @ 12" O.C. FOR FIELD NAILING, 6" O.C. FOR EDGE & BOUNDARY NAILING.
3. PRE-FABRICATED ROOF WOOD TRUSSES AT 24" O.C. MAX. PROVIDE BLOCKING AND BRIDGING AS PER MANUFACTURERS RECOMMENDATIONS REFER TO MECHANICAL PLANS FOR LOCATION OF A/C DUCTS.
4. ROOFING PER ARCHITECT OVER 5/8" THICK PLYWOOD STRUCTURAL #1 (SPAN RATING 48/24) WITH 10d NAILS @ 12" O.C. FOR FIELD NAILING, 6" O.C. FOR EDGE & BOUNDARY NAILING.
5. PROVIDE 3-2x VERTICAL STUDS BELOW BEAM BEARING LOCATION.
6. INTERIOR BEARING WALL
7. METAL STAIRS PER ARCHITECT. REFER TO ARCHITECTURAL PLANS FOR TREAD AND RISER DIMENSIONS.
8. PRE-FABRICATED FLOOR WOOD TRUSSES 11-1/4" DEPTH AT 24" O.C. MAX. PROVIDE BLOCKING AND BRIDGING AS PER MANUFACTURERS RECOMMENDATIONS REFER TO MECHANICAL PLANS FOR LOCATION OF A/C DUCTS. PROVIDE LIVE LOAD DEFLECTION L/480.
9. PROVIDE SIMPSON H16 OR H16-2 HURRICANE TIES AT GIRDER JOIST.

WOOD LINTEL SCHEDULE		
SPAN	SIZE	WOOD SPECIES
< 3'-6"	(2) 2x8	SOUTHERN PINE No.2
3'-6" < 6'-6"	(2) 2x12	SOUTHERN PINE No.1
> 6'-6"	SEE PLAN	

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Laredo, TX 78046
(956) 753-8860 synergy@synergy-se.com
TBP# Reg. No.: F-7661



2ND FLOOR FRAMING PLAN
BUILDING A & B
SSE-22-139
AUGUST 22, 2022.
VDA/SM
VDA

Sheet
S201

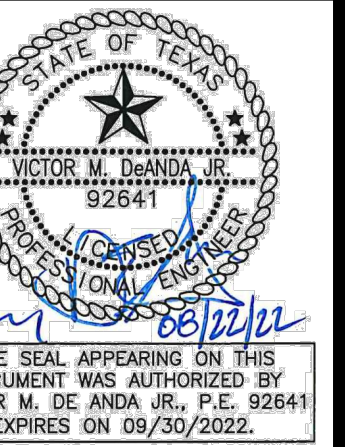
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LAREDO, TEXAS 78043

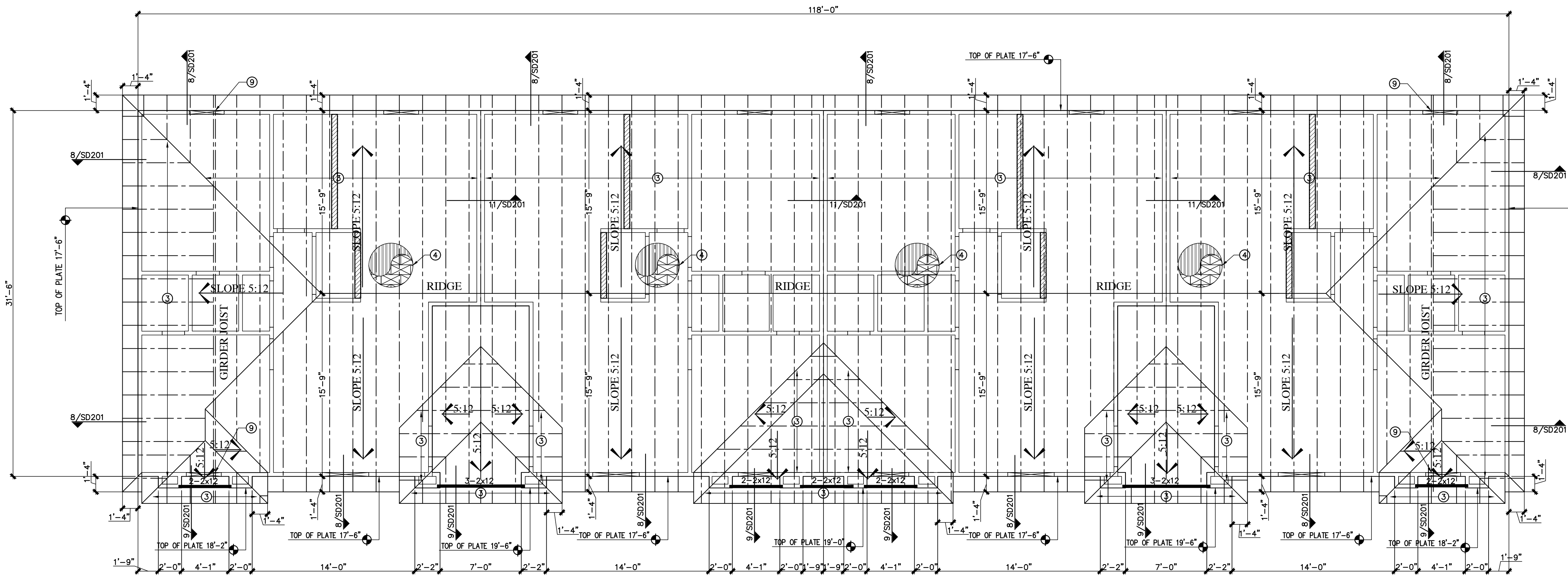
SYNERGY
STRUCTURAL ENGINEERING, INC.
1117 S. Mendiola Ave., Suite 300
Laredo, TX 78046
(951) 753-8860 synergy@synergy-se.com
T&PE Reg. No.: F-7661



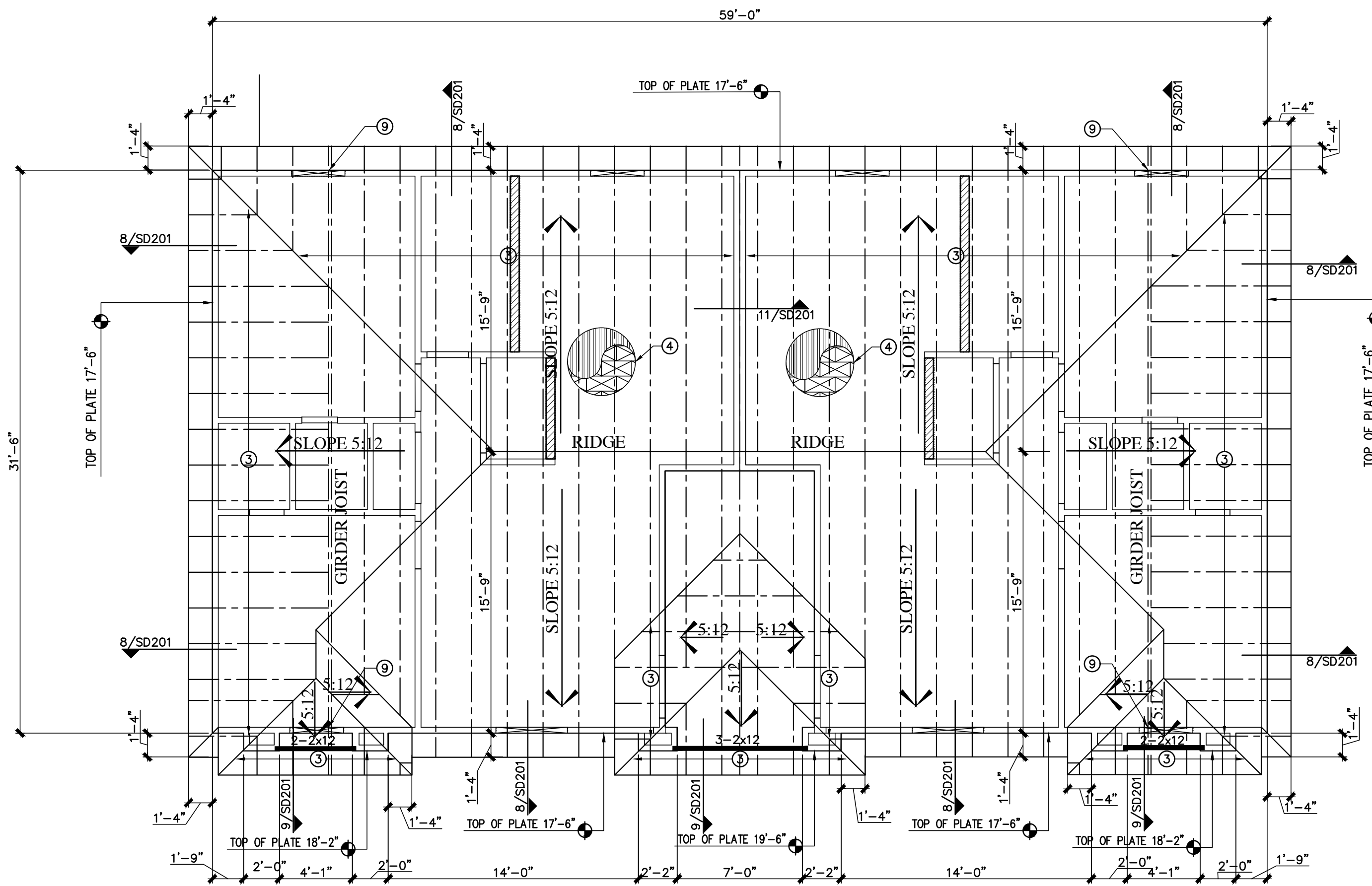
ROOF FRAMING PLAN
BUILDING A & B
SSE-22-139
Name: AUGUST 22, 2022
Job No.: VDA/SM
Date: VDA
Drawn By:
Check by:

Sheet

S301



1 ROOF FRAMING PLAN - BUILDING A
SCALE: 3/16"=1'-0"



2 ROOF FRAMING PLAN - BUILDING B
SCALE: 3/16"=1'-0"

FRAMING GENERAL NOTES

- SEE SHEET S001 FOR GENERAL NOTES.
- SEE SHEET S002 FOR TYPICAL DETAILS.
- REFER TO MECHANICAL AC DRAWINGS FOR LOCATION AND SIZE OF REFRIGERANT PIPING AND DUCT WORK, MECHANICAL UNITS, WEIGHTS, & SUPPORTS.
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- REFER TO ARCHITECTURAL PLANS FOR BENCH MARK OF FINISH FLOOR ELEVATION.
- REFER TO MECHANICAL DRAWING FOR A/C DUCT SIZES FOR THE DESIGN OF FLOOR AND ROOF TRUSSES.
- TRUSS MANUFACTURER TO REFER TO ARCHITECTURAL PLANS FOR THE DESIGN OF CEILINGS AT FLOOR AND ROOF TRUSSES.

KEYED FRAMING NOTES

- PRE-FABRICATED FLOOR WOOD TRUSSES 15-3/4" DEPTH AT 24" O.C. MAX. PROVIDE BLOCKING AND BRIDGING AS PER MANUFACTURER'S RECOMMENDATIONS REFER TO MECHANICAL PLANS FOR LOCATION OF A/C DUCTS. PROVIDE LIVE LOAD DEFLECTION L/480.
- 1-1/2" NORMAL WEIGHT CONCRETE WITH WWF 6x6 W2.9x W2.9 OVER 3/4" THICK PLYWOOD TONGUE & GROOVE STRUCTURAL #1 (SPAN RATING 48/24) GLUED AND NAILED WITH 10d NAILS @ 12" O.C. FOR FIELD NAILING, 6" O.C. FOR EDGE & BOUNDARY NAILING.
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- PROVIDE SIMPSON H16 OR H16-2 HURRICANE TIES AT GIRDER JOIST.

WOOD LINTEL SCHEDULE		
SPAN	SIZE	WOOD SPECIES
< 3'-6"	(2) 2x6	SOUTHERN PINE No.2
3'-6" < 6'-6"	(2) 2x12	SOUTHERN PINE No.1
> 6'-6"	SEE PLAN	

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DETAIL NOT USED	19	DETAIL NOT USED	15	DETAIL NOT USED				
						12		4
DETAIL NOT USED	20	DETAIL NOT USED	16	DETAIL NOT USED				

REVISIONS

SAN JOSE APARTMENTS
117 S. Mendiola Ave.
LAREDO, TEXAS 78043

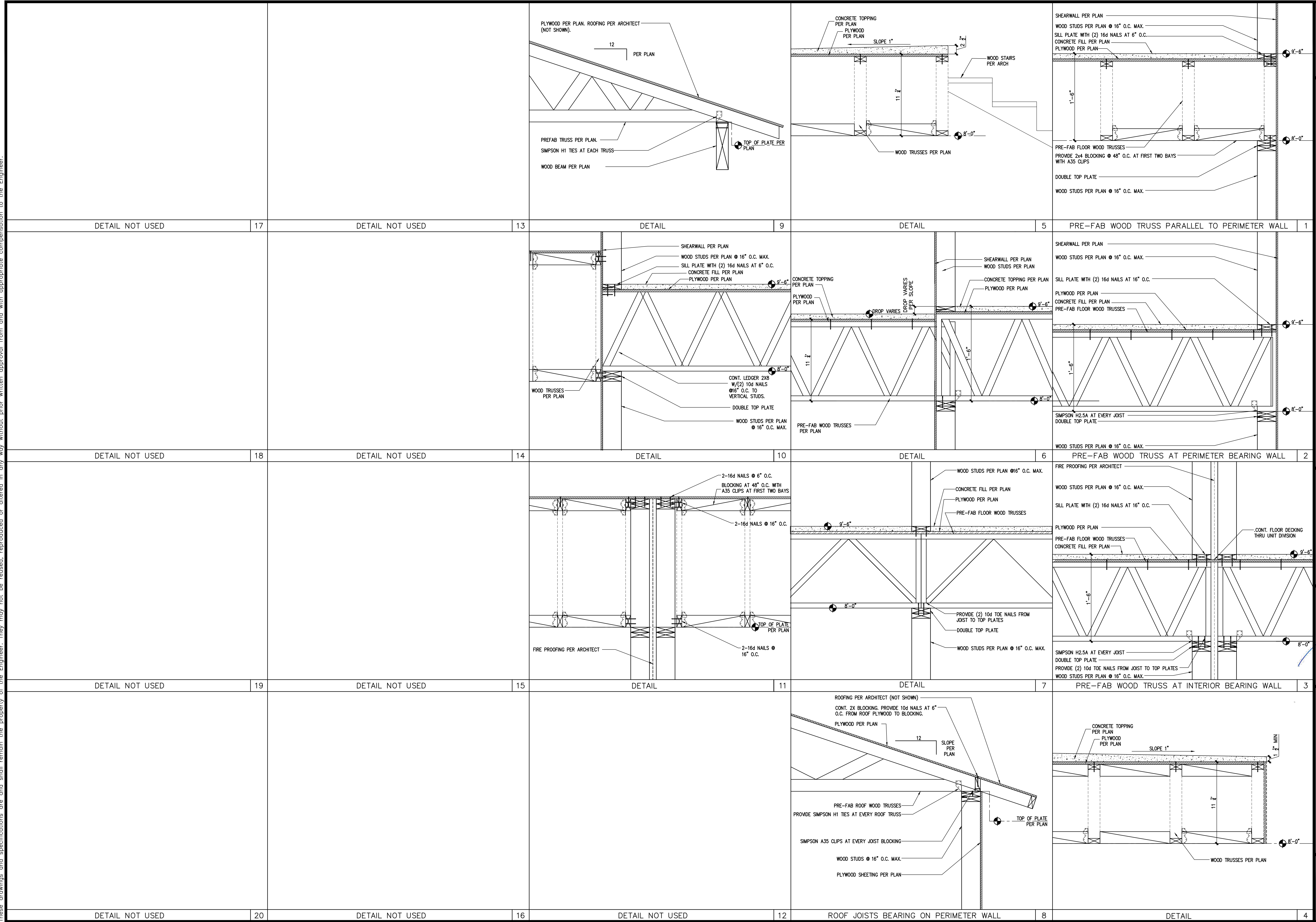
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1117 S. Mendiola Ave.
Laredo, TX 78043
(956) 753-8860 synergy@synergy-se.com
TBP# Reg. No.: F-7661



FOUNDATION DETAILS
Drawing Name: SSE-22-139
Job No.: AUGUST 22, 2022
Date: VDA/SM
Drawn By: VDA
Check by: VDA

Sheet
SD101

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 LAREDO, TEXAS 78043

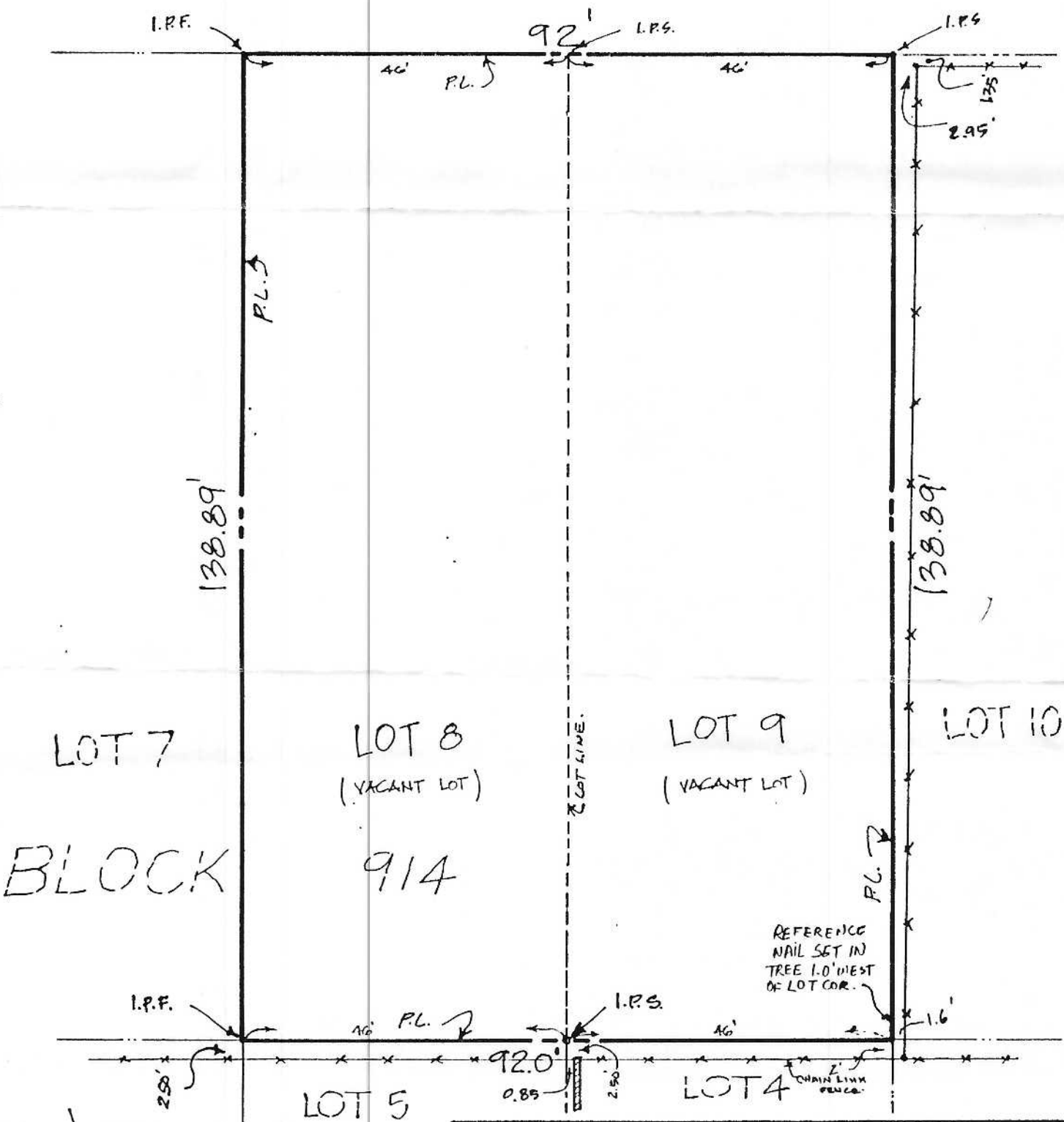
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 11111 W. 300
 Laredo, TX 78046
 (956) 753-8860 synergy@synergy-se.com
 TBPE Reg. No.: F-7661



FRAMING DETAILS
 Drawing Name: SSE-22-139
 Job No.: AUGUST 22, 2022
 Date: VDA/SM
 Drawn By: VDA
 Check by: VDA

Sheet
SD201

Tomás Aguilar MENDIOLA AVE.
 (UNPAVED ST.) (55.56' R.O.W.)



SCALE 1" = 20'

LEGEND:
 I.P. - Iron Pin
 P.L. - Property Line
 5845

SURVEY No. _____ FIELD BOOK No. _____

SURVEY OF
 LOTS 8 AND 9, BLOCK 914,
 EASTERN DIVISION, CITY OF
 LAREDO, WEBB COUNTY, TEXAS.



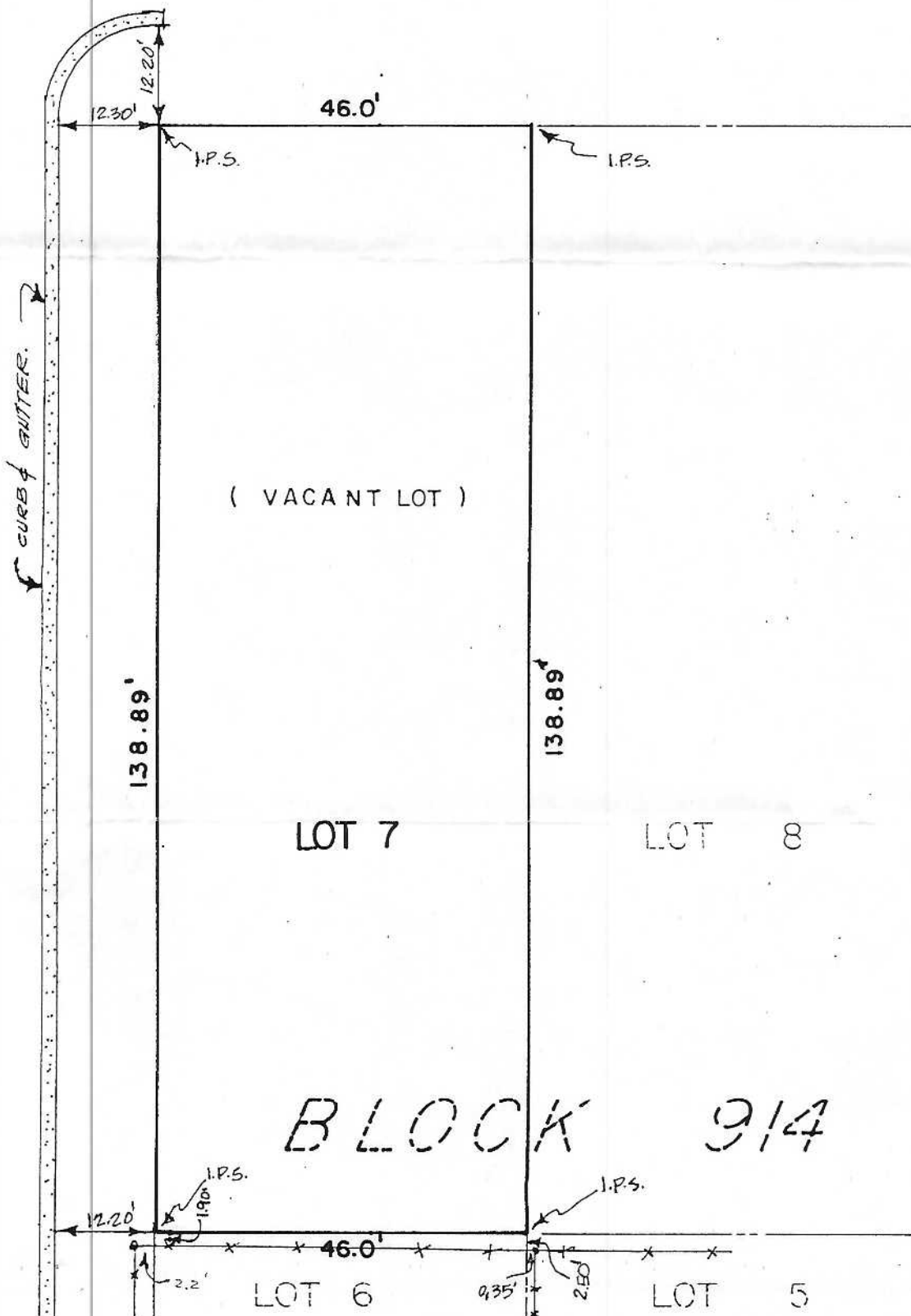
SURVEYOR'S CERTIFICATION
 I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT AND
 WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE
 UNDER MY SUPERVISION ON THE GROUND
 THIS 30th DAY OF Sept. 1993.
 SIGNED: *J. Ricardo Sanchez*
 J. RICARDO SANCHEZ
 R. P.L.S. No. 4232
 Sanchez Engineering Inc.
 5918 MCPHERSON ROAD #5
 LAREDO, TEXAS 78041
 (512) 723-5578

This Lot is not located within a flood hazard area designated Zone C in accordance with Flood Insurance Rate Map No. 480651-0010 B

MENDIOLA AVE.
(55.56' R.O.W.) (UNPAVED ST.)

WOOSTER ST.

(31.10' B.B)



SCALE 1" = 20'

LEGEND:
I.P. - Iron Pin
P.L. - Property Line

SURVEY No. 4782 FIELD BOOK No. 724-841
Ext 236 Yole Chapa Sanchez

SURVEY OF
Lot 7, Block 914, Eastern Division,
City of Laredo, Webb County, Texas
Leslie Dixon

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND THIS 2nd DAY OF March, 1992

SIGNED: *J. Ricardo Sanchez*
J. RICARDO SANCHEZ
R. P.L.S. No. 4232

Sanchez Engineering Inc.
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