

### GENERAL INFO

#### ACCOUNT

Property ID: 174631  
 Geographic ID: 442-00914-080  
 Type: R  
 Zoning: R-3  
 Agent:  
 Legal Description: LOTS 8-9 BLK 914 ED

#### OWNER

Name: AGDL INVESTMENTS LLC  
 Secondary Name:  
 Mailing Address: 8218 Casa Verde Rd STE 1009 Laredo TX 78041-2149  
 Owner ID: 10211442  
 % Ownership: 100.00  
 Exemptions:

Property Use:

#### LOCATION

Address: 117 S MENDIOLA AVE LAREDO TX 78043  
 Market Area:  
 Market Area CD: 3098  
 Map ID: 98  
 Zoning: R-3

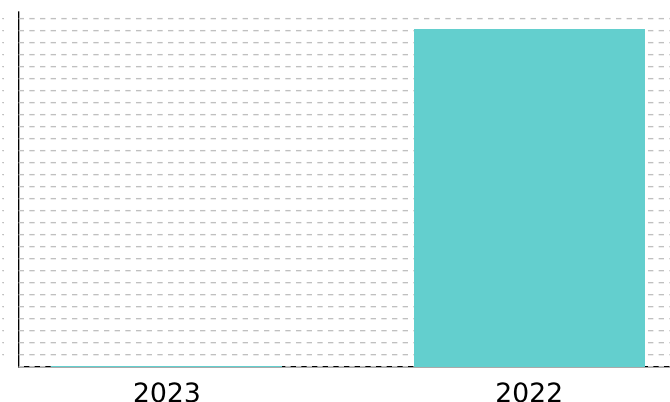


### VALUES

#### CURRENT VALUES

Land Homesite: \$0  
 Land Non-Homesite: \$70,362  
 Special Use Land Market: \$0  
 Total Land: \$70,362  
 Improvement Homesite: \$0  
 Improvement Non-Homesite: \$0  
 Total Improvement: \$0  
 Market: \$70,362  
 Special Use Exclusion (-): \$0  
 Appraised: \$70,362  
 Value Limitation Adjustment (-): \$0  
 Net Appraised: \$70,362

#### VALUE HISTORY



Values for the current year are preliminary and are subject to change.

#### VALUE HISTORY

| Year | Land Market | Improvement | Special Use Exclusion | Appraised | Value Limitation Adj (-) | Net Appraised |
|------|-------------|-------------|-----------------------|-----------|--------------------------|---------------|
| 2023 | N/A         | N/A         | N/A                   | N/A       | N/A                      | N/A           |
| 2022 | \$70,362    | \$0         | \$0                   | \$70,362  | \$0                      | \$70,362      |

## TAXING UNITS

| Unit | Description    | Tax Rate | Net Appraised | Taxable Value |
|------|----------------|----------|---------------|---------------|
| C1   | CITY OF LAREDO | 0.570000 | \$70,362      | \$70,362      |
| G3   | WEBB COUNTY    | 0.390000 | \$70,362      | \$70,362      |
| J2   | LAREDO COLLEGE | 0.287836 | \$70,362      | \$70,362      |
| S1   | LAREDO ISD     | 1.384500 | \$70,362      | \$70,362      |

DO NOT PAY FROM THIS ESTIMATE. This is only an estimate provided for informational purposes and may not include any special assessments that may also be collected. Please contact the tax office for actual amounts.

## IMPROVEMENT

### LAND

| Land   | Description      | Acres  | SQFT  | Cost per SQFT | Market Value | Special Use Value |
|--------|------------------|--------|-------|---------------|--------------|-------------------|
| E_REG4 | EASTERN DIVISION | 0.1466 | 6,385 | \$5.51        | \$35,181     | \$0               |
| E_REG4 | EASTERN DIVISION | 0.1466 | 6,385 | \$5.51        | \$35,181     | \$0               |

## DEED HISTORY

| Deed Date | Type | Description   | Grantor/Seller      | Grantee/Buyer        | Book ID | Volume | Page | Instrument |
|-----------|------|---------------|---------------------|----------------------|---------|--------|------|------------|
| 5/17/22   | WD   | WARRANTY DEED | AGUILAR TOMAS JR    | AGDL INVESTMENTS LLC |         | 5275   | 0167 | 1468115    |
| 10/7/93   | OT   | Other         | LONGORIA ANGELINA B | AGUILAR TOMAS JR     |         | 157    | 83   | 503938     |

**GENERAL INFO**

**ACCOUNT**

Property ID: 174630  
 Geographic ID: 442-00914-070  
 Type: R  
 Zoning: R-3  
 Agent:  
 Legal Description: LOT 7 BLK 914 ED

**OWNER**

Name: AGDL INVESTMENTS LLC  
 Secondary Name:  
 Mailing Address: 8218 Casa Verde Rd STE 1009 Laredo TX 78041-2149  
 Owner ID: 10211442  
 % Ownership: 100.00  
 Exemptions:

Property Use:

**LOCATION**

Address: 119 S MENDIOLA AVE LAREDO TX 78043

Market Area:  
 Market Area CD: 3098  
 Map ID: 98  
 Zoning: R-3

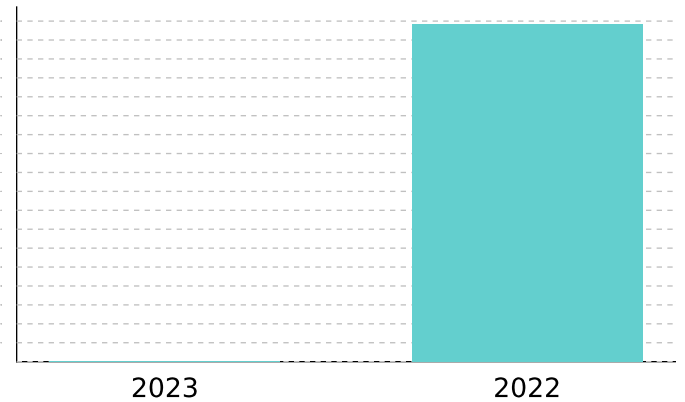


**VALUES**

**CURRENT VALUES**

Land Homesite: \$0  
 Land Non-Homesite: \$44,631  
 Special Use Land Market: \$0  
 Total Land: \$44,631  
  
 Improvement Homesite: \$0  
 Improvement Non-Homesite: \$0  
 Total Improvement: \$0  
  
 Market: \$44,631  
 Special Use Exclusion (-): \$0  
 Appraised: \$44,631  
 Value Limitation Adjustment (-): \$0  
  
 Net Appraised: \$44,631

**VALUE HISTORY**



Values for the current year are preliminary and are subject to change.

**VALUE HISTORY**

| Year | Land Market | Improvement | Special Use Exclusion | Appraised | Value Limitation Adj (-) | Net Appraised |
|------|-------------|-------------|-----------------------|-----------|--------------------------|---------------|
| 2023 | N/A         | N/A         | N/A                   | N/A       | N/A                      | N/A           |
| 2022 | \$44,631    | \$0         | \$0                   | \$44,631  | \$0                      | \$44,631      |

## TAXING UNITS

| Unit | Description    | Tax Rate | Net Appraised | Taxable Value |
|------|----------------|----------|---------------|---------------|
| C1   | CITY OF LAREDO | 0.570000 | \$44,631      | \$44,631      |
| G3   | WEBB COUNTY    | 0.390000 | \$44,631      | \$44,631      |
| J2   | LAREDO COLLEGE | 0.287836 | \$44,631      | \$44,631      |
| S1   | LAREDO ISD     | 1.384500 | \$44,631      | \$44,631      |

DO NOT PAY FROM THIS ESTIMATE. This is only an estimate provided for informational purposes and may not include any special assessments that may also be collected. Please contact the tax office for actual amounts.

## IMPROVEMENT

### LAND

| Land   | Description      | Acres  | SQFT  | Cost per SQFT | Market Value | Special Use Value |
|--------|------------------|--------|-------|---------------|--------------|-------------------|
| E_REG4 | EASTERN DIVISION | 0.1466 | 6,385 | \$6.99        | \$44,631     | \$0               |

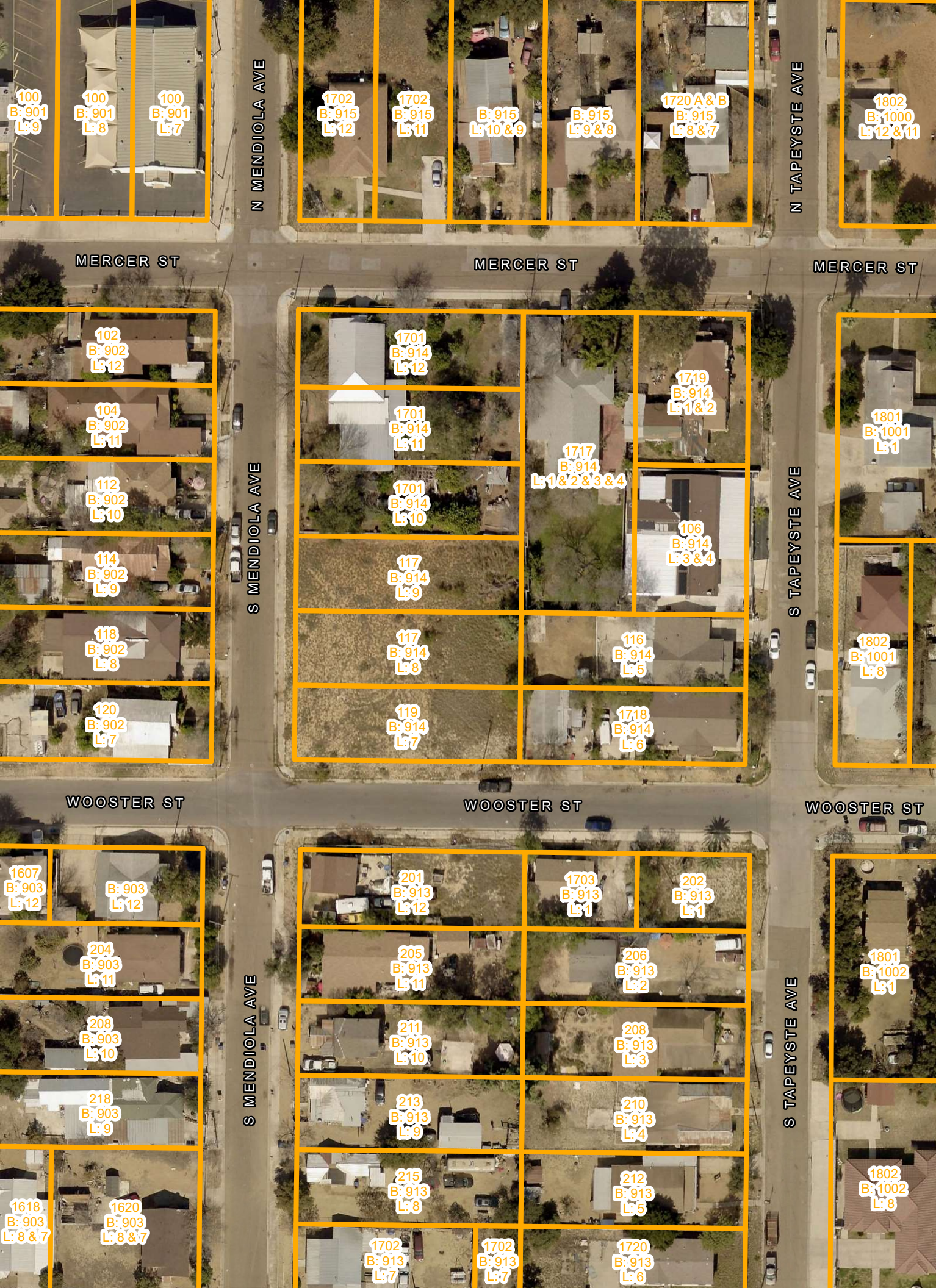
## DEED HISTORY

| Deed Date | Type | Description   | Grantor/Seller             | Grantee/Buyer              | Book ID | Volume | Page | Instrument |
|-----------|------|---------------|----------------------------|----------------------------|---------|--------|------|------------|
| 5/17/22   | WD   | WARRANTY DEED | AGUILAR TOMAS JR           | AGDL INVESTMENTS LLC       |         | 5275   | 0167 | 1468115    |
| 3/30/92   | OT   | Other         | DE LACHICA MARIA LYDIA U & | AGUILAR TOMAS JR           |         | 19     | 868  | 466364     |
| 4/19/90   | OT   | Other         | LACHICA ELVIRA DE          | DE LACHICA MARIA LYDIA U & |         | 4269   | 1419 | DIST       |

RESIDENTIAL NEW CONSTRUCTION  
NEZ TAX ABATEMENT AND PERMIT FEE CALCULATIONS

117 S Mendiola

|                               |                |
|-------------------------------|----------------|
| CAPITAL INVESTMENT            | \$1,681,600.00 |
| CURRENT PROPERTY VALUE        | \$114,993.00   |
| CURRENT ANNUAL CITY TAX       | \$655.46       |
| SQUARE FOOTAGE                | 9,120          |
| BUILDING PERMIT               | \$3,001.50     |
| ELECTRICAL PERMIT             | \$2,160.00     |
| MECHANICAL PERMIT             | \$1,560.00     |
| PLUMBING PERMIT               | \$2,220.00     |
| DEMO PERMIT                   | \$0.00         |
| ROW PERMIT                    | \$300.00       |
| PROPOSED NEW PROPERTY VALUE   | \$1,796,593.00 |
| PROPOSED NEW ANNUAL CITY TAX  | \$10,240.58    |
| TOTAL PERMIT FEES             | \$9,241.50     |
| NUMBER OF YEARS TAX ABATEMENT | 10             |
| CITY TAX RATE                 | 0.570%         |
| RESIDENTIAL                   | \$0.00         |
| ANNUAL TAX ABATEMENT          | \$9,585.12     |
| TOTAL TAX ABATEMENT           | \$95,851.20    |



100  
B: 901  
L: 9

100  
B: 901  
L: 8

100  
B: 901  
L: 7

1702  
B: 915  
L: 12

1702  
B: 915  
L: 11

B: 915  
L: 10 & 9

B: 915  
L: 9 & 8

1720 A & B  
B: 915  
L: 8 & 7

1802  
B: 1000  
L: 12 & 11

MERCER ST

MERCER ST

MERCER ST

N MENDIOLA AVE

N TAPEYSTE AVE

S MENDIOLA AVE

S TAPEYSTE AVE

102  
B: 902  
L: 12

104  
B: 902  
L: 11

112  
B: 902  
L: 10

114  
B: 902  
L: 9

118  
B: 902  
L: 8

120  
B: 902  
L: 7

1701  
B: 914  
L: 12

1701  
B: 914  
L: 11

1701  
B: 914  
L: 10

117  
B: 914  
L: 9

117  
B: 914  
L: 8

119  
B: 914  
L: 7

1719  
B: 914  
L: 1 & 2

1717  
B: 914  
L: 1 & 2 & 3 & 4

106  
B: 914  
L: 3 & 4

116  
B: 914  
L: 5

1718  
B: 914  
L: 6

1801  
B: 1001  
L: 1

1802  
B: 1001  
L: 8

WOOSTER ST

WOOSTER ST

WOOSTER ST

1607  
B: 903  
L: 12

B: 903  
L: 12

204  
B: 903  
L: 11

208  
B: 903  
L: 10

218  
B: 903  
L: 9

1618  
B: 903  
L: 8 & 7

1620  
B: 903  
L: 8 & 7

201  
B: 913  
L: 12

205  
B: 913  
L: 11

211  
B: 913  
L: 10

213  
B: 913  
L: 9

215  
B: 913  
L: 8

1702  
B: 913  
L: 7

1702  
B: 913  
L: 7

1703  
B: 913  
L: 1

206  
B: 913  
L: 2

208  
B: 913  
L: 3

210  
B: 913  
L: 4

212  
B: 913  
L: 5

1720  
B: 913  
L: 6

1801  
B: 1002  
L: 1

1802  
B: 1002  
L: 8

**RESOLUTION NO. 2021-R-130**

**RESOLUTION EXTENDING THE BORDERS OF NEIGHBORHOOD EMPOWERMENT ZONE (“NEZ”), NUMBER ONE WITHIN THE CITY OF LAREDO, AND MAKING THE NECESSARY FINDINGS OF PUBLIC BENEFIT AND PUBLIC PURPOSE TO SUPPORT THE EXTENSION OF THE ZONE IN DISTRICT III IN THE CITY OF LAREDO FOR THE PURPOSE OF DEVELOPMENT.**

**WHEREAS**, the City Council of the City of Laredo desires to see the redevelopment and revitalization of targeted areas of the City; and

**WHEREAS**, the creation of affordable housing, including manufactured housing, coupled with economic development, and the increase in social services, education, public safety, are also high priority issues for the City; and

**WHEREAS**, the City has investigated different economic development tools used in other municipalities, and determined that Neighborhood Empowerment Zones have been used effectively and with positive results in other communities facing the same economic challenges facing the City of Laredo; and

**WHEREAS**, the State of Texas, through the Neighborhood Empowerment Zone program, as codified in Section 378 of the Texas Local Government Code, has provided municipalities a framework and authorization to provide certain incentives to both residential and commercial property owners, with the goal of achieving redevelopment of targeted areas by creating of a Neighborhood Empowerment Zone; and

**WHEREAS**, the City of Laredo, pursuant to Section 378.003, makes the necessary findings that the City and extending the area within the Laredo NEZ #1 will benefit the area, and serve the public purpose of increasing public health, safety, and welfare of persons in the municipality; and

**WHEREAS**, the extension of the borders within NEZ #1 does satisfy the requirements set for in Section 378.002; and

**WHEREAS**, the City Council also supports the attached map, which sets forth the extension of the area within Laredo NEZ #1, which will incentive development and redevelopment within the boundary of the Zone.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS, THAT:**

**Section 1.** That the City Council hereby designates the area described in the attached boundary description and map as the Laredo Neighborhood Empowerment Zone Number One.

**Section 2.** The City Council further resolves that the Building Development Services Department will be responsible for the program, and authorizes that Department to prepare an application, and administrative procedures for the implementation of the program.

**Section 3.** The City Council further resolves that the attached guidelines will serve as the framework for the implementation of the program.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS  
17 DAY OF May 2021.

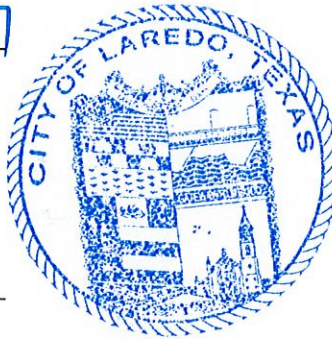
  
PETE SAENZ  
MAYOR

ATTESTED:

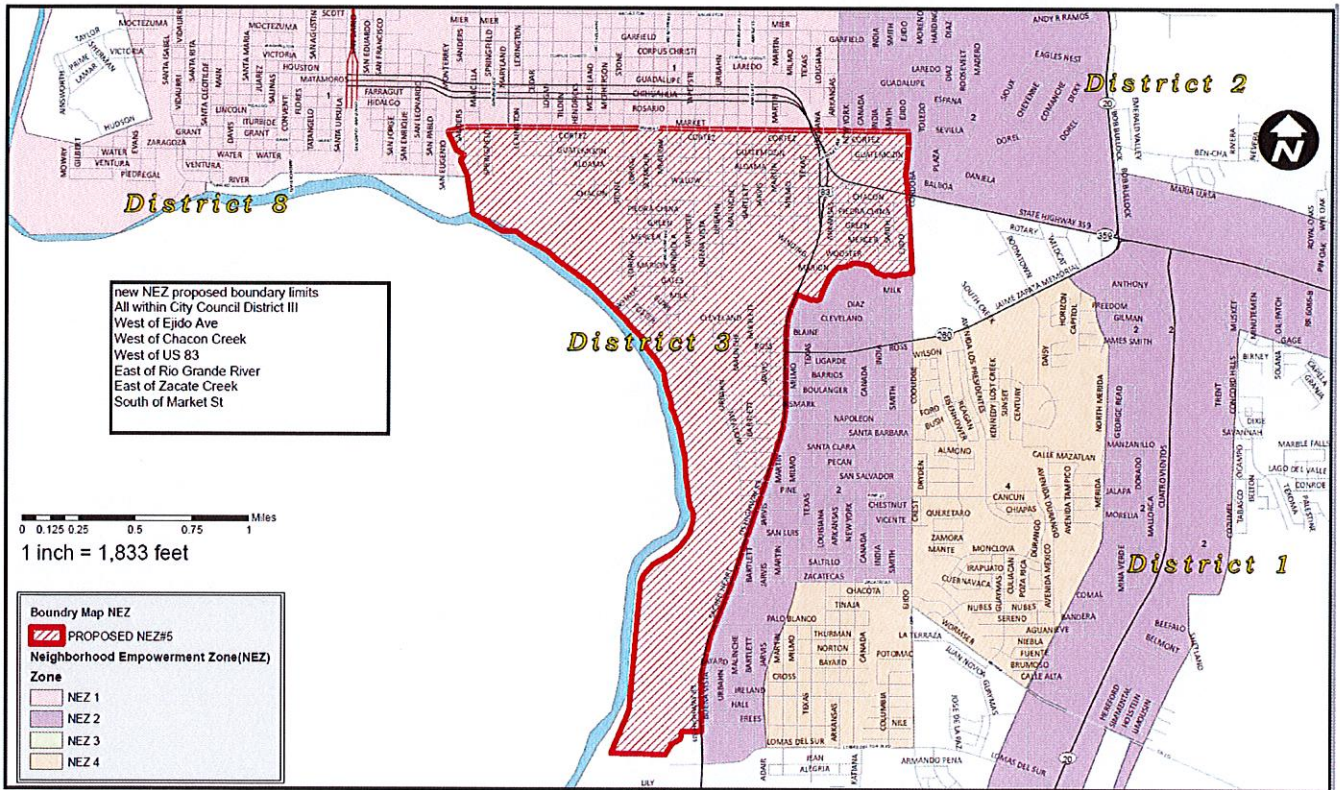
  
JOSE A. VALDEZ, JR.  
CITY SECRETARY

APPROVED AS TO FORM:

  
RENE C. BENAVIDES  
CITY ATTORNEY







**DISCLAIMER**  
 The information provided in this map was submitted to, gathered by and/or developed by the City of Laredo from various sources. Geographic information has a high probability of becoming outdated from the time it is collected and therefore, all present ground conditions should be assessed to determine the accuracy of provided information. The City of Laredo assumes no liability for any decisions made or actions taken or not taken by the user of the data in reliance upon any data furnished herewith. The use of this data indicates your unconditional acceptance of all risks associated with the use of this data.

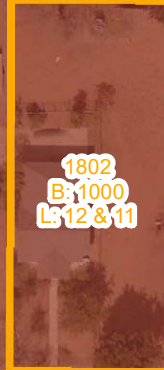




N MENDIOLA AVE



N TAPEYSTE AVE



MERCER ST

MERCER ST

MERCER ST



S MENDIOLA AVE



S TAPEYSTE AVE

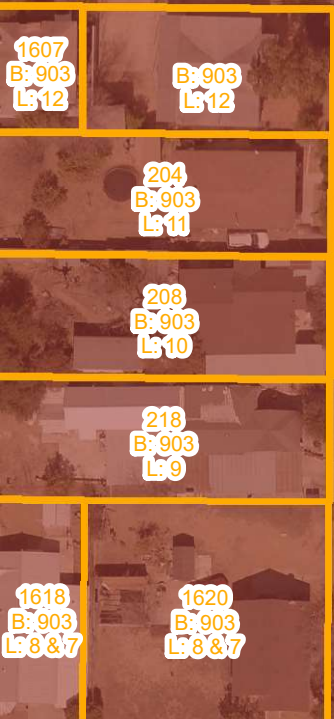


District 2

WOOSTER ST

WOOSTER ST

WOOSTER ST



S MENDIOLA AVE



S TAPEYSTE AVE

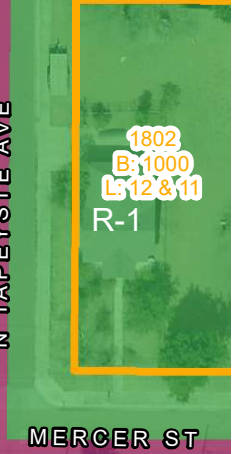




N MENDIOLA AVE



N TAPEYSTE AVE



MERCER ST

MERCER ST

MERCER ST



S MENDIOLA AVE



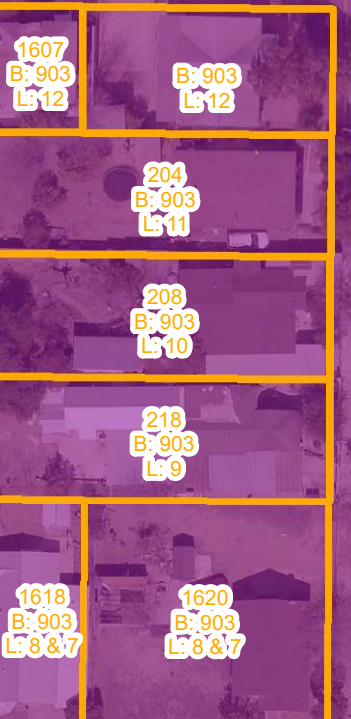
S TAPEYSTE AVE



WOOSTER ST

WOOSTER ST

WOOSTER ST



S MENDIOLA AVE



S TAPEYSTE AVE



## Mercedes H. Camacho

---

**From:** Sara A. Flores  
**Sent:** Tuesday, October 18, 2022 4:16 PM  
**To:** Mercedes H. Camacho  
**Cc:** Roland H. Lozano, Jr.; Mario Santos, IV; Dora A. Maldonado  
**Subject:** RE: NEZ 117-119 South Mendiola

Good Afternoon,

I found 3 Paving Liens for Lots 7,8,9, Block 914 ED (tax account #442-00914-070 and #442-00914-080) below:

- Paving ID# 20134-\$26.00 release of lien fee
- Paving ID #3835-\$26.00 release of lien fee
- Paving ID #20135-\$26.00 release of lien fee

Below are the payment options:

**In person at -**

City Hall, 1110 Houston St, Laredo, TX - Mon. – Fri. 8am-5pm

City Hall Annex, 1102 Bob Bullock Loop, Laredo, TX – Mon. – Fri., 8am-5pm

**By Mail -**

PO Box 6548, Laredo, TX 78042

**Drop Box -**

City Hall, 1110 Houston St, Laredo, TX - North Entrance of Building

City Hall Annex, 1102 Bob Bullock, Laredo, TX – Drive Thru, Lane

Thank you,

*Sara Flores*

City of Laredo Tax Dept-Misc. Receivables Division

1102 Bob Bullock Loop

Laredo, TX 78043

Tel: (956) 727-6409

Fax: (956) 727-6410

---

**From:** Mercedes H. Camacho <mcamacho@ci.laredo.tx.us>

**Sent:** Tuesday, October 18, 2022 2:05 PM

**To:** Dora A. Maldonado <dmaldonado@ci.laredo.tx.us>; Sara A. Flores <sflores@ci.laredo.tx.us>

**Cc:** Roland H. Lozano, Jr. <rlozano1@ci.laredo.tx.us>; Mario Santos, IV <msantos@ci.laredo.tx.us>

**Subject:** NEZ 117-119 South Mendiola

**Importance:** High

Good Afternoon,

Can you please check the tax status for 117-119 South Mendiola Lot 9, 8, 7 Block 914 Eastern Division  
Can you also check if this property has any city, weed, board-up, demolition, Paving, order of Demolition Liens?

Thank You for your attention

Thank you,

*Mercedes H. Camacho*

Street Cut Inspector  
City of Laredo  
1413 Houston  
Laredo, Tx. 78040  
Office (956) 794-1625



**Please email your application to:**  
**Roland H. Lozano, Jr. at [rlozano1@ci.laredo.tx.us](mailto:rlozano1@ci.laredo.tx.us)**  
**Building Development Services Department**  
 1413 Huston Street, Laredo, Texas 78040  
 P: 956.794.1625 F: 956.795.2998

Electronic version of this form is available on the City of Laredo website. For more information on the NEZ program, please visit our website at [www.cityoflaredo.com/building](http://www.cityoflaredo.com/building)

**For Office Use Only**

Application No. \_\_\_\_\_ In which NEZ? 5 Council District 3

Application Completed Date: 10/ /22 Conform with Zoning?  Yes  No

Type:  Single Family  Multi-Family  Commercial  Industrial  Community Facilities  Mixed Use

Applicant is Property Owner  Yes  No

WEEBCAD Account No. 442-00914-080, 442-00914-070

Consistent with the NEZ plan?  Yes  No Meet Mixed-Use Definition  Yes  N/A  No

Minimum Capital Investment?  Yes  No City liens on this property?  Yes  No

Rehabilitation at or higher than 25%?  Yes  N/A  No City liens other properties?  Yes  N/A  No

Tax current on this property?  Yes  No

Tax Current on other properties  Yes  No

**This Property**

**Other Properties**

Weed Liens  Yes  No

Yes  N/A  No

Board-up/open structure liens  Yes  No

Yes  N/A  No

Demolition liens  Yes  No

Yes  N/A  No

Paving liens  Yes  No

Yes  N/A  No

Order of Demolition  Yes  No

Yes  N/A  No

Tax Department Certified?  Yes  No

Date certification issued: 10/18/22

Name: Sara A. Flores

Referred to: Karl John Hickie  
 Building Department Director

Received by: Roland H. Lozano Jr.  
 Staff

## CITY OF LAREDO

\*\*\* CUSTOMER RECEIPT \*\*\*

Oper: CCANTU1      Type: DT    Drawer: 1  
Date: 10/19/22 02    Receipt ~~no~~ 43864

| Customer             | Location Name              | Amount   |
|----------------------|----------------------------|----------|
| 20134                | 20134 AGUILAR JR., TOMAS   |          |
| PA                   | PAVING ASSESSMENTS         | \$26.00  |
| Trans number:        |                            | 24924219 |
| 3835                 | 3835 DE LACHICA, ELVIRA    |          |
| PA                   | PAVING ASSESSMENTS         | \$26.00  |
| Trans number:        |                            | 24924220 |
| 20135                | 20135 LONGORIA, ANGELINA B |          |
| PA                   | PAVING ASSESSMENTS         | \$26.00  |
| Trans number:        |                            | 24924221 |
| Tender detail        |                            |          |
| CC CREDIT CARD       |                            | \$78.00  |
| Total tendered       |                            | \$78.00  |
| Total payment        |                            | \$78.00  |
| Trans date: 10/19/22 | Time: 8:40:11              |          |